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CHAPTER 19A SMARTCODE

RANSON, WEST VIRGINIA

ADOPTED: APR17 2012

Article 1

General

ARTICLE 1. GENERAL TO ALL PLANS.....	1	TABLE 7. BUILDING INTENSITY	55
1.1 AUTHORITY AND APPLICABILITY.....	1	TABLE 8. BUILDING USE	56
1.2 INTENT	1	TABLE 9. PARKING CALCULATIONS.....	57
1.3 REZONING	3	TABLE 10. PARKING OCCUPANCY RATE	58
1.4 TRANSECT DISTRICTS.....	5	TABLE 11. T20 STANDARDS.....	59
1.5 DEVIATIONS	6	TABLE 12. T3 STANDARDS	60
1.6 INCENTIVES.....	7	TABLE 13. T4 / T40 STANDARDS	61
1.7 DEFINITIONS	7	TABLE 14. T5L / T5 STANDARDS	62
ARTICLE 2. SECTOR PLANS	15	TABLE 15. LOT STRUCTURE	63
2.1 INSTRUCTIONS.....	15	TABLE 16. T20 LOT STRUCTURE.....	64
TABLE 1. SECTOR ALLOCATION.....	16	TABLE 17. FRONTAGES & ELEVATIONS.....	64
ARTICLE 3. NEW COMMUNITY PLANS	17	TABLE 18. SIGN TYPES.....	65
3.1 INSTRUCTIONS.....	17	TABLE 19. FENCE TYPES.....	68
3.2 SEQUENCE OF COMMUNITY DESIGN.....	18	TABLE 20. FENCE LOCATIONS.....	70
3.3 COMMUNITY UNIT TYPES.....	19	TABLE 21. FENCE PANELS	70
3.4 TRANSECT DISTRICTS	20	ARTICLE 6. SPECIAL DISTRICTS.....	71
3.5 THOROUGHFARE AND BLOCK STANDARDS	20	6.1 SPECIAL DISTRICTS SDB AND SDI	71
3.6 LOT STRUCTURE	21	TABLE 22. SDB STANDARDS	74
3.7 THOROUGHFARE NETWORK STANDARDS	21	TABLE 23. SDI STANDARDS	75
3.8 CIVIC STANDARDS	22	ARTICLE 7. PUBLIC REALM.....	77
3.9 SPECIAL DISTRICTS	22	7.1 INSTRUCTIONS.....	77
3.10 OVERLAY DISTRICT STANDARDS.....	23	7.2 THOROUGHFARE STANDARDS	77
3.11 DENSITY CALCULATIONS	23	7.3 EASEMENT STANDARDS	79
3.12 SPECIAL REQUIREMENTS	23	7.4 CIVIC AREAS	79
TABLE 2. COMMUNITY UNIT CONFIGURATION.....	25	7.5 LANDSCAPE STANDARDS.....	79
TABLE 3. SC-NC PLAN REQUIREMENTS	25	TABLE 24. THOROUGHFARES AND FRONTAGES	82
TABLE 4. PEDESTRIAN SHEDS	26	TABLE 25. THOROUGHFARE ASSEMBLY TYPES	83
ARTICLE 4. INFILL COMMUNITY PLANS.....	27	TABLE 26. TRANSPORTATION WAY	85
4.1 INSTRUCTIONS.....	27	TABLE 27. PUBLIC FRONTAGE TYPES.....	86
4.2 COMMUNITY UNIT TYPES.....	28	TABLE 28. UTILITY EASEMENTS.....	87
4.3 OVERLAY DISTRICT STANDARDS.....	29	TABLE 29. EFFECTIVE TURNING RADIUS	88
4.4 TRANSECT DISTRICTS.....	29	TABLE 30. PRE-APPROVED ASSEMBLIES	89
4.5 SPECIAL DISTRICTS	29	TABLE 31. CIVIC SPACE	102
4.6 SPECIAL REQUIREMENTS	29	TABLE 32. PUBLIC PLANTING.....	104
ARTICLE 5. SUBDIVISION & ZONING	31	TABLE 33. TREE PLANTING PATTERN	109
5.1 INSTRUCTIONS.....	31	TABLE 34. PUBLIC LIGHTING.....	110
5.2 PRE-EXISTING CONDITIONS	39		
5.3 SPECIAL REQUIREMENTS	39		
5.4 CIVIC AREAS	40		
5.5 BUILDING PLACEMENT	40		
5.6 BUILDING CONFIGURATION	41		
5.7 BUILDING AND LAND USE	43		
5.8 PARKING AND DENSITY	43		
5.9 PARKING LOCATION STANDARDS	44		
5.10 LANDSCAPE STANDARDS.....	45		
5.11 SIGNAGE STANDARDS	46		
5.12 ARCHITECTURAL STANDARDS.....	50		
5.13 FENCING STANDARDS.....	50		
TABLE 5. BUILDING HEIGHT.....	52		
TABLE 6. PRIVATE FRONTAGES.....	53		

Article 1

General

iv

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ARTICLE 1. GENERAL TO ALL PLANS

1.1 Authority and Applicability

- 1.1.1 Authority. This chapter is adopted pursuant to authority granted to West Virginia municipalities by W. Va. Code, § 8A-7-1 et seq.
- 1.1.2 Enactment. For the purposes cited above and for the general purposes of promoting the health, safety, and general welfare of the citizens of the City, the City Council hereby ordains, adopts and enacts this Chapter in its entirety, including text, map, and all regulations, all of which shall be known as the City of Ranson SmartCode. This chapter shall apply to land within the corporate limits of the corporation, as shown on the official zoning map or described by ordinance.
- 1.1.3 Conflicting ordinances. All ordinances or parts of ordinances in conflict with this chapter or inconsistent with its provisions, including, but not limited to, Chapters 16, 17 and 19 of the City of Ranson Code of Ordinances, are hereby repealed and superseded to the full extent necessary to give this chapter full force and effect.
- 1.1.4 Severability. Should any provision of this be declared invalid or unconstitutional by a court of competent jurisdiction, such declaration shall not affect this chapter as a whole or any part hereof except that specific provision which was the subject of the declaration.
- 1.1.5 Construction. The following general rules of construction shall apply to regulations governing the SmartCode Chapter:
 - a. Numerical metrics shall take precedence over graphic metrics.
 - b. The diagrams and illustrations within this Chapter, unless specifically noted as advisory, are considered regulatory in nature and are legally binding.
 - c. The definition of a term in this section shall take precedence over the definition of the same term elsewhere in the City of Ranson Code of Ordinances.
- 1.1.6 Terms used throughout this Chapter may be defined in Section 1.7 Definitions. Section 1.7 Definitions contains regulatory language that is integral to this Chapter. Those terms not defined in Section 1.7 Definitions shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and other definitions in the City of Ranson Code of Ordinances, those of this Chapter shall take precedence.
- 1.1.7 The metrics of the standards and tables are an integral part of this Chapter. However, the diagrams and illustrations that accompany them should be considered guidelines, with the exception of those on Table 11. T2O Standards, Table 12. T3 Standards, Table 13. T4 / T4O Standards, and Table 14. T5L / T5 Standards, which are also legally binding.

1.2 Intent

- 1.2.1 The intent and purpose of this Chapter is to enable, encourage and qualify the implementation of the region, the community, the block and the building, and the Transect.
- 1.2.2 The city
 - a. That the city should retain its natural infrastructure and visual character derived from topography, woodlands, farmlands, and riparian corridors.
 - b. That growth strategies should encourage Infill and redevelopment in parity with new communities.
 - c. That development contiguous to urban areas should be structured in the pattern of Town Center (TCT) or Village (VIL) and be integrated with the existing urban pattern.
 - d. That development non-contiguous to urban areas should be organized in the pattern of Hamlet (HAM) or VIL.

Article 1

General

2

- e. That affordable housing should be distributed throughout the region to match job opportunities and to avoid concentrations of poverty.
- f. That transportation corridors should be planned and reserved in coordination with land use.
- g. That green corridors should be used to define and connect the urbanized areas.
- h. That the city should include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.

1.2.3 The community

- a. That neighborhoods and town centers should be compact, pedestrian-oriented and mixed use.
- b. That neighborhoods and the town centers should be the preferred pattern of development and that districts specializing in a single use should be the exception.
- c. That ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive.
- d. That interconnected networks of thoroughfares should be designed to disperse traffic and reduce the length of automobile trips.
- e. That within neighborhoods, a range of housing types and price levels should be provided to accommodate diverse ages and incomes.
- f. That appropriate building densities and land uses should be provided within walking distance of transit stops.
- g. That civic, institutional, and commercial activity should be embedded in the town center and neighborhoods, not isolated in remote single-use complexes.
- h. That schools should be sized and located to enable children to walk or bicycle to them.
- i. That a range of open space including parks, squares, and playgrounds should be distributed within neighborhoods and the town center.

1.2.4 The block and the building

- a. That buildings and landscaping should contribute to the physical definition of thoroughfares as civic places.
- b. That development should adequately accommodate automobiles while respecting the pedestrian and the spatial form of public areas.
- c. That architecture and landscape design should grow from local climate, topography, history, and building practice.
- d. That buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
- e. That civic buildings and public gathering places should be provided as locations that reinforce community identity.
- f. That civic buildings should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
- g. That the preservation and renewal of historic buildings should be facilitated, to affirm the continuity and evolution of society.

1.2.5 The Transect

- a. That communities should provide meaningful choices in living arrangements as manifested by distinct physical environments.
- b. That the Transect District descriptions in Section 1.4 Transect Districts shall constitute the intent of this Chapter with regard to the general character of each of these environments.

1.3 Rezoning

- 1.3.1 General Procedures: This section shall be administered in accordance with the procedural requirements of Chapter 16 (Planning and Development) and Chapter 19 (Zoning) of the City of Ranson Code of Ordinances except when those requirements conflict with this section.
- 1.3.2 Re-zoning Procedures: The procedure for rezoning to SmartCode new community (SC-NC) or Transect Districts (T1, T2, T3, T4, T5) as part of an infill community plan or as standalone Transect Districts (T1, T2, T3, T4, T5) shall be the same as required for any other zoning district change:
- 1.3.3 Re-zoning Application Requirements
- a. Application for rezoning to a SmartCode-New Community District shall include all of the following:
 - i. applicant's name, address, interest in affected property. If the applicant is not the owner, a letter from the owner, a signature on the application, or a power of attorney shall be required for the applicant to act as agent with full authority.
 - ii. description of property
 - iii. map of property to be rezoned including topography at a maximum of 20-foot contour intervals, using USGS topography or other available topographic survey and established or approximated 100-year flood plain limits as shown on the official FEMA flood insurance maps.
 - iv. existing property lines with dimensions
 - v. adjoining streets and widths
 - vi. existing structures
 - vii. existing use of land
 - viii. current zoning of land and adjoining properties
 - ix. proposed points of connection for off-site thoroughfares
 - x. proposed maximum density
 - xi. proposed community unit type(s)
 - xii. proposed designation of transect districts at perimeter (1 lot deep)
 - xiii. statement as to how the re-zoning request is consistent with the City of Ranson Comprehensive Plan.
 - b. Application for rezoning to Transect Districts (T1-5) as part of an infill community plan shall include all of the following:
 - i. applicant's name, address, interest in affected property
 - ii. description of property
 - iii. map of property to be rezoned including topography at a maximum of 20-foot contour intervals, using USGS topography or other available topographic survey and established or approximated 100-year flood plain limits as shown on the official FEMA flood insurance maps.
 - iv. existing property lines with dimensions
 - v. adjoining streets and widths
 - vi. existing structures
 - vii. existing use of land
 - viii. current zoning of land and adjoining properties
 - ix. proposed points of connection for off-site thoroughfares
 - x. proposed maximum density
 - xi. proposed community unit type(s)

Article 1

General

4

- xii. proposed designation of transect districts
- xiii. statement as to how the re-zoning request is consistent with the City of Ranson Comprehensive Plan.
- xiv. infill land development plan and plat shall be submitted and approved as part of a rezoning application to Transect Districts, pursuant to the requirements of Sec. 4.1.3.
- c. Application for rezoning to a Transect District (T1-5) not as part of an infill community plan shall include all of the following:
 - i. applicant's name, address, interest in affected property. If applicant is not owner, a letter from the owner, signature on the application, or power of attorney shall be required for applicant to act as agent with full authority.
 - ii. description of property
 - iii. map of property to be rezoned including topography at a maximum of 20-foot contour intervals, using USGS topography or other available topographic survey and established or approximated 100-year flood plain limits as shown on the official FEMA flood insurance maps.
 - iv. existing property lines with dimensions
 - v. adjoining streets and widths
 - vi. existing structures
 - vii. existing use of land
 - viii. current zoning of land and adjoining properties
 - ix. proposed points of connection for off-site thoroughfares
 - x. proposed maximum density
 - xi. proposed designation of transect districts
 - xii. statement describing how the requested change enhances the surrounding neighborhood structure per Section 1.2 Intent.
 - xiii. statement as to how the re-zoning request is consistent with the Comprehensive Plan.

1.3.4 An applicant for a SmartCode-New Community District may elect to combine their rezoning and land development plan processes.

1.3.5 Within the G1, G2 and G3 Sectors, the following acreage requirements are necessary for any rezoning to the SmartCode New Community District (SC-NC):

- a. Hamlet (HAM): 10 – 50 acres per HAM
- b. Village (VIL): No fewer than 40 acres and no more than 200 acres per VIL

1.3.6 Within the G3 Sector, the following acreage requirements are necessary for any rezoning to the SmartCode new community (SC-NC):

- a. Town Center (TCT): No fewer than 40 acres and no more than 200 acres per TCT. Multiple Community Units may be included in one rezoning request, provided each Community Unit meets its acreage requirements.

1.3.7 Once the City Council approves a rezoning under this Chapter, the parcel(s) shall be designated SC-NC (SmartCode –New Community) on the City of Ranson zoning map until approval of the land development plan and plat by the Planning Commission pursuant to 3.1.5 or 4.1.1. Once the Planning Commission approves land development plan and plat, specific transect districts shall replace the SC-NC designation on the official zoning map as part of the Planning Commission's approval of the land development plan and plat, so long as the allocation of zoning districts within the land development plan and plat are consistent with Table 3 of this Chapter and the original rezoning to SC-NC. The parcel(s) shall be

designated T1 (Natural), T2 (Rural), T3 (Sub-Urban), T4 (General Urban), T5 (Urban Center), or SD (Special District) on the City of Ranson zoning map. The replacement of specific transect zones on the official zoning map shall not be considered a zoning amendment pursuant to W. Va. Code 8A-7-8 or 8A-7-9; thus, the placement of transect zones does not require further action of the Planning Commission or City Council. Transect zone placement shall be considered a continuation of the original SC-NC rezoning process that was originally approved by official action of the Planning Commission and City Council pursuant to W. Va. Code 8A-7-8 or 8A-7-9. So long as the applicant complies with Table 3 of this Chapter, the transect districts may be relocated within the parcel(s) administratively and on the official zoning map until final plat approval. Once the final plat is approved pursuant to 5.1.8.g, transect districts may not be relocated and may only be amended through the City's rezoning process. This Chapter shall be the exclusive and mandatory zoning regulation, and its provisions shall be applied in their entirety.

1.4 Transect Districts

- 1.4.1 Zoning districts under this Chapter are limited to the following Transect District designations:
- a. T5 Urban Center (T5): This district consists of higher density mixed-use buildings that accommodate retail, offices, townhouses and apartments. It has a tight network of thoroughfares, with wide sidewalks, regularly spaced street tree planting and buildings set close to the sidewalks
 - b. T4 General Urban (T4): This district includes a mix of uses but is primarily mixed density residential. It may have a wide range of building types: houses, townhouses, duplexes, small apartment buildings, and live-work units. Setbacks and landscaping are variable. Streets and sidewalks define medium-sized blocks
 - c. T3 Sub-Urban (T3): This district consists of low density residential areas, with some mix of use, home occupations and outbuildings. Street and yard planting are naturalistic and building setbacks are relatively deep. Blocks may be large and thoroughfare networks irregular.
 - d. T2 Rural (T2): This district consists of sparsely settled lands in open or cultivated states. These include woodland, agricultural land, and pasture. Typical buildings are farmhouses and agricultural buildings. Roads are rural in character had have no pedestrian facilities. Landscaping is naturally occurring.
 - e. T1 Natural (T1): This district consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation. Public parks may occur, but general development is prohibited.
- 1.4.2 All or a portion of the property within a designated Transect District may be further subject to the following sub-districts:
- a. T-2 Open (T2O): a transition district modifying a T4 frontage on a T2 parcel by permitting agricultural uses at the rear of the lot, and limiting block perimeter requirements.
 - b. T-4 Open (T4O): a transition district modifying T4 by permitting more commercial uses.
 - c. T-5 Limited (T5L): a transition district modifying T5 by limiting allowable commercial uses.
- 1.4.3 The following special districts are designated for uses and configurations that are incompatible with transect districts, but that are consistent with Section 1.2 Intent:
- a. Business Special District (SDB): a primarily single-use district for business, manufacturing, warehousing and light industrial uses.

Article 1

General

6

b. Industrial Special District (SDI): a primarily single-use district for heavy industry, manufacturing, and large employment complexes.

1.4.4 All or a portion of the property within a designated transect district may be further subject to the following overlay districts:

a. Transit Overlay District (TOD): an area within a short walking distance of a commuter rail, light rail, or bus rapid-transit station. The TOD modifies transect districts by increasing density and height, and reducing parking requirements.

1.5 Deviations

1.5.1 The City of Ranson hereby creates a Consolidated Review Committee ("CRC") comprised of a member from Planning, Public Works, Police, the City Manager or his/her designee, and a member of the Parks and Recreation Commission, to process administratively applications and plans for proposed projects.

1.5.2 There shall be two types of deviation from the requirements of this Chapter: administrative waivers and variances. Whether a deviation requires an administrative waiver or variance shall be determined by the City Manager or his designee.

1.5.3 Administrative Waivers

a. An administrative waiver is a ruling that would permit a practice that is not consistent with a specific provision of this Chapter but is justified by the provisions of Section 1.2. The City Manager or his designee or his designee shall have the authority to approve or disapprove administratively a request for an administrative waiver.

b. General Standards. No administrative waiver shall be approved unless the City Manager or his designee shall find:

i. The administrative waiver is consistent with Section 1.2 Intent of this Chapter.

ii. The administrative waiver is consistent with the Comprehensive Plan.

iii. The administrative waiver will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.

iv. The administrative waiver will not substantially injure the value of adjoining property; or that the use is a public necessity.

v. The location and character of the use, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.

vi. The administrative waiver will advance the presence of the intended form of the development.

vii. The administrative waiver will advance pedestrian friendly activity.

viii. The administrative waiver will provide for the enhancement, coordination or demarcation between the public and private realm.

c. Specific Standards. Items eligible for administrative waivers have specific standards in the sections of the Chapter related to those items.

d. Any decision regarding a grant or denial of an administrative waiver shall in writing state the reasons for the grant or denial and shall be delivered to the applicant by either first class mail or electronically.

i. Appeals of City Manager or his designee or CRC denials may be made to the Board of Zoning Appeals (BZA).

1.5.4 Variances

a. For variances, the standards and procedures in Chapter 16 Planning and Development

and Chapter 19 Zoning shall apply.

- 1.5.5 The request for an administrative waiver or variance shall not subject the entire application to public hearing, but only that portion necessary to rule on the specific issue requiring the relief.

1.6 Incentives

- 1.6.1 To encourage the use of this Chapter, the City Council grants the following incentives, to the extent authorized by state law:
- Applications under this Chapter shall be processed with priority over those under Chapter 19, including those with earlier filing dates.
 - The City may waive all application fees.
 - The City shall waive the public hearing at site plan approval stage.
 - Land development plan and plat shall not be required to contain as much detailed engineering information as in the sketch plan phases in TND districts.
 - Consolidated rezoning and land development plan and plan hearings may be held simultaneously at option of applicant if required information is provided and compliant the the appropriate article.

1.7 Definitions

This Section provides definitions for terms in this Chapter that are technical in nature or that otherwise may not reflect a common usage of the term.

A-Grid: cumulatively, those thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Chapter. See b-grid. (Syn: primary grid / street.)

Access Lane: an outer vehicular lane or lanes of a thoroughfare, designed for slow speeds and separated from inner lanes that carry higher speed traffic by a planted median. (Syn: access lane, service lane)

Accessory Building: a structure which is on the same parcel of property as a principal structure and the use of which is incidental to the use of the principal structure. For example a residential structure may have a detached garage, storage shed, or guest house.

Adjusted Pedestrian Shed: a pedestrian shed that has been adjusted according to Section 3.2, creating the regulatory boundary of a community unit.

Allee: a regularly spaced and aligned row of trees usually planted along a thoroughfare or path.

Arcade: a private frontage conventional for retail use wherein the facade is a colonnade supporting habitable space that abuts the sidewalk, while the facade at sidewalk level is setback, providing a private frontage sidewalk.

Avenue (AV): a thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

B-grid: cumulatively, those thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the a-grid. See a-grid. (Syn: secondary grid / street.)

Bed and breakfast: an owner-occupied lodging type offering 1 to 6 bedrooms, permitted to serve breakfast in the mornings to guests.

Bicycle lane (BL): a dedicated lane for cycling within a moderate-speed vehicular thoroughfare, demarcated by striping.

Article 1

General

8

Bicycle route (BR): a thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

Bicycle trail (BT): a bicycle way running independently of a vehicular thoroughfare.

Block: the aggregate of private lots, passages, rear alleys and rear lanes, circumscribed by thoroughfares.

Block face: the aggregate of all the building facades on one side of a block.

Boulevard (BV): a thoroughfare designed for high vehicular capacity and moderate speed, traversing an urbanized area. Boulevards are usually equipped with access lanes buffering sidewalks and buildings.

Caliper: diameter of a tree trunk. The term "caliper" is used for trees less than twelve (12) inches in diameter. For trees less than four (4) inches in diameter, it is measured six (6) inches from the ground. For trees between four (4) inches and twelve (12) inches in diameter, it is measured twelve (12) inches from the ground.

CRC: Consolidated Review Committee. See Section 1.5.1.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic building: a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Civic parking reserve: Parking structure or parking lot within a quarter-mile of the site that it serves.

Civic space: an outdoor area permanently dedicated for public use. Civic space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their enfronting buildings.

Commercial: the term collectively defining workplace, office, retail, and lodging uses.

Common destination: An area of focused community activity, usually defining the approximate center of a pedestrian shed. It may include without limitation one or more of the following: a civic space, a civic building, a commercial center, or a transit station, and may act as the social center of a neighborhood.

Common lawn: a planted private frontage wherein the facade is set back from the frontage line. It is visually continuous with adjacent yards.

Community plan area: an area marked on a land use map activating the use of this Chapter.

Community unit: a regulatory category defining the physical form, density, and extent of a settlement. The three community unit types addressed in this Chapter are HAM, VIL, and TCT. The context for these community units may be infill or greenfield.

Configuration: the form of a building, based on its massing, private frontage, and height.

Consolidated review committee (CRC): Part of the Community Development Department, a CRC is comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project. See Section 1.5.1.

Critical Root Zone (CRZ): a circular area centered on the trunk of an existing tree that has a radius of twelve (12) inches to every inch of diameter at breast height (DBH) of the tree.

Developable areas: lands other than those in the O-1 preserved open sector and T1 Natural Transect District.

Diameter at breast height (DBH): a standard method of expressing the diameter or the trunk or bole of a standing (existing) tree measured 4.5 feet [1.3 m] above ground in existing tree surveys.

Drive: a thoroughfare along the boundary between an urbanized and a natural condition, usually along a waterfront, park, or promontory. One side has the urban character of a thoroughfare, with sidewalk

and building, while the other has the qualities of a road or parkway, with naturalistic planting and rural details.

Effective parking: the amount of parking required for mixed use after adjustment by the parking occupancy rate.

Effective turning radius: the measurement of the inside turning radius taking parked cars into account.

Elevation: an exterior wall of a building not along a frontage line. See: facade.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, into the public frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public frontage, or above a height limit.

Expression line: a line prescribed at a certain level of a building for the major part of the width of a facade, expressed by a variation in material or by a limited projection such as a molding or continuous balcony. (Syn: transition line.)

Facade: the exterior wall of a building that is set along a frontage line. See elevation.

Flag lot: A parcel having the configuration of an extended flag and pole. The pole represents the width of the principal building and side setbacks and the rear of the lot is located to the rear of another lot fronting a main street. Flag lots only providing egress to a parcel behind are prohibited. The lot must be wide enough to accommodate the principal building at the frontage line.

Forecourt: a private frontage wherein a portion of the facade is close to the frontage line and the central portion is set back.

Frontage: the area between a building facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into private frontage and public frontage.

Frontage buildout: the percentage of the lot width that is occupied by the building facade at the front setback.

Frontage line: a lot line bordering a public frontage. Facades facing frontage lines define the public realm and are therefore more regulated than the elevations facing other lot lines.

Gallery: a private frontage conventional for retail use wherein the facade is aligned close to the frontage line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk.

Green: a civic space type for unstructured recreation, spatially defined by landscaping rather than building frontages.

Greenfield: an area that consists of open or wooded land or farmland that has not been previously developed.

Growth sector: one of four sectors where development is permitted by right in this Chapter, three for new communities and one for infill.

Hamlet (HAM): a community unit type structured by a short or standard pedestrian shed oriented toward a common destination such as a general store, meeting hall, schoolhouse, and / or church. A hamlet takes the form of a small settlement standing free in the countryside. (Syn: conservation land development, cluster) (Regional example: Hillsboro, VA)

Highway: a rural and suburban thoroughfare of high vehicular speed and capacity. This type is allocated to the more rural Transect Districts (T-1, T-2, and T-3).

Infill: *noun* - new development on land that had been previously developed, including most greyfield and brownfield sites and cleared land within urbanized areas. *verb*- to develop such areas.

Infill VIL: a community unit type within an urbanized, greyfield, or brownfield area based on a standard

Article 1

General

pedestrian shed and consisting of T-3, T-4, and/or T-5 Districts. (Var: neighborhood.)

10 **Inn:** a lodging type, offering 7 to 12 bedrooms, permitted to serve breakfast in the mornings to guests.

Land development: the development of one or more lots, tracts or parcels of land by any means and for any purpose, but does not include easements, rights-of-way or construction of private roads for extraction, harvesting or transporting of natural resources.

Land development plan and plat: a zoning map or set of maps that shows the Transect Districts, civic zones, special districts if any, and special requirements if any, of areas subject to, or potentially subject to, regulation by this Chapter.

Landscape area: the area of a lot or parcel exclusive of building footprints, driveway and walkway pavements, and other impervious hardscape areas, and inclusive of ponds, pools and water features.

Layer: a range of depth of a lot within which certain elements are permitted.

Lightwell: A private frontage type that is a below-grade entrance or recess designed to allow light into basements. (Syn: light court.)

Liner building: a building specifically designed to mask a parking lot or a parking structure from a frontage.

Live-work: a mixed use unit consisting of a commercial and residential use. The commercial use may be anywhere in the unit. (Syn.: flexhouse.)

Lodging: premises available for daily and weekly renting of bedrooms.

Lot coverage: the percentage of a lot that is covered by buildings and other roofed structures.

Main civic space: the primary outdoor gathering place for a community. The main civic space is often, but not always, associated with an important civic building.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery or artisanal equipment, and including their retail sale.

Meeting hall: a building available for gatherings, including conferences.

Mixed use: multiple uses within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by warrant.

Neighborhood Multipurpose Field: a civic space type for structured recreation and stormwater management. It may be spatially defined by landscaping rather than building frontages.

Net site area: all developable land within a site including thoroughfares but excluding land allocated as civic districts and/or T1 and/or T2.

Office: premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

Old Town: As delineated on official zoning map.

Open space: land intended to remain undeveloped; it may be for civic space.

Outbuilding: an accessory building, usually located toward the rear of the same lot as a principal building.

Park: a civic space type that is a natural preserve available for unstructured recreation.

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long blocks and connect rear parking areas to frontages.

Path (PT): a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space, ideally connecting directly with the urban sidewalk network.

Pedestrian shed: An area that is centered on a common destination. Its size is related to average

walking distances for the applicable community unit type. Pedestrian sheds are applied to structure communities. See standard, long, or linear pedestrian shed. (Syn: walkshed, walkable catchment.)

Linear pedestrian shed: A pedestrian shed that is elongated along an important mixed use corridor such as a main street. A linear pedestrian shed extends approximately 1/4 mile from each side of the corridor for the length of its mixed use portion. The resulting area is shaped like a lozenge. It may be used to structure a VIL, TCT, infill VIL, or infill TCT. (Syn: elongated pedestrian shed.)

Long pedestrian shed: a pedestrian shed that is an average 1/2 mile radius or 2640 feet, used when a transit stop (bus or rail) is present or proposed as the common destination. A long pedestrian shed represents approximately a ten-minute walk at a leisurely pace. It is applied to structure a TOD overlay.

Short pedestrian shed: a pedestrian shed that is an average 1/6 mile radius or 792 feet, about the distance of a three-minute walk at a leisurely pace. Short pedestrian sheds are common for hamlets or areas with steep topography.

Standard pedestrian shed: a pedestrian shed that is an average 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace.

Planter: the element of the public frontage which accommodates street trees, whether continuous or individual.

Plat: a map of the land development.

Playground: an open space designed and equipped for the recreation of children.

Plaza: a civic space type designed for civic purposes and commercial activities in the more urban Transect Districts, generally paved and spatially defined by building frontages.

Principal entrance: the main point of access for pedestrians into a building.

Principal frontage: On corner lots, the private frontage designated to bear the address and principal entrance to the building, and the measure of minimum lot width. Prescriptions for the parking layers pertain only to the principal frontage. Prescriptions for the first layer pertain to both frontages of a corner lot. See frontage.

Private frontage: the privately held layer between the frontage line and the principal building facade.

Public frontage: the area between the curb of the vehicular lanes and the frontage line.

Rear alley (RA): a vehicular way located to the rear of lots providing access to service areas, parking, and outbuildings and containing utility easements. Rear alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll curbs at the edges.

Rear lane (RL): a vehicular way located to the rear of lots providing access to service areas, parking, and outbuildings and containing utility easements. Rear lanes may be paved lightly to driveway standards. The streetscape consists of gravel or landscaped edges, has no raised curb, and is drained by percolation.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service.

Retail frontage: Frontage designated on a land development plan and plat that requires or recommends the provision of a shopfront, encouraging the ground level to be available for retail use. See special requirements.

Road (RD): a local, rural and suburban thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Districts (T1-T3).

Sector: a neutral term for a geographic area. In this Chapter there are six specific Sectors for regional

Article 1

General

planning that establish the legal boundaries for open space and development.

- 12 **Secondary frontage:** on corner lots, the private frontage that is not the principal frontage. As it affects the public realm, its first layer is regulated.

Parking occupancy rate: an accounting for parking spaces that are available to more than one use.

Shopfront: a private frontage conventional for retail use, with substantial glazing, wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade.

Special district (SD): an area that, by its intrinsic use, placement, or configuration, cannot or should not conform to one or more of the normative community unit types or Transect Districts specified by this Chapter. Special districts may be mapped and regulated at the regional scale and/or the community scale.

Special district 1 (SDB): Business: A special-use area comprised of primarily light industrial, office and warehouse buildings with some corner stores. This area allows large parking lots generally buffered from main streets. Pedestrian walkability and automobile access are balanced on a per-street basis. Open space is generally absent from this area.

Special district 2 (SDI): Industrial: A special-use area comprised of primarily heavy industrial, large federal employment complexes and warehouse buildings. This area allows truck bays, loading docks, large parking lots and rail access. Pedestrian walkability and automobile access are balanced on a per-street basis. Open space is generally absent from this area.

Special requirements: provisions for a-grid, b-grid, required retail frontage, required gallery frontage, required arcade frontage, build-to lines, coordinated frontages, terminated vistas, or cross block passages on a regulating plan or other map for those provisions.

Square: a civic space type designed for unstructured recreation and civic purposes, spatially defined by building frontages and consisting of paths, lawns and trees, formally disposed.

Stoop: a private frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk for privacy, with an exterior stair and landing at the entrance.

Story: a habitable level within a building, excluding an attic or raised basement. *See Table 19.*

Street (ST): a local urban thoroughfare of low speed and capacity. *See Table 5 and Table 7.*

Streetscreen: a freestanding wall built along the frontage line, or coplanar with the facade. It may mask a parking lot from the thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm. (Syn: streetwall.)

Substantial modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

Swale: a low or slightly depressed natural area for drainage.

Target speed: is the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: very low: (below 20 MPH); low: (20-25 MPH); moderate: (25-35 MPH); high: (above 35 MPH). Lane width is determined by desired target speed.

Terminated vista: a location at the axial conclusion of a thoroughfare. A building located at a terminated vista designated on a regulating plan is required or recommended to be designed in response to the axis, and is frequently a vertical element.

Terrace: a private frontage type with a shallow setback and front elevated patio, usually with a low wall at the frontage line. This type buffers residential use from urban sidewalks. Terraces are also suitable for outdoor cafes. *See Table 6.*

Third Place: a term used in the concept of community building to refer to social surroundings sepa-

rate from the two usual social environments of home and work-place. Criteria for a third place include the following: highly accessible, proximate for many within walking distance, involve regulars, and inexpensive food and drink. Coffee shops and cafes are often used as a neighborhood's third place.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to lots and open spaces, consisting of vehicular lanes and the public frontage.

TOD: transit oriented development. A TOD is created by an overlay on all or part of a VIL or TCT, or by designation on a regional plan, permitting increased density to support MARC or bus rapid transit.

Town Center (TCT): a community unit type structured by a long or linear pedestrian shed that may be adjoined without buffers by one or several standard pedestrian sheds, each with the individual Transect District requirements of a TCT. A TCT takes the forms of a high-density mixed use center connected to other centers by transit. (Syn: downtown, regional center.) (Regional example: historic Charles Town, WV)

Townhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full frontage line. See rear yard building. (Syn: rowhouse)

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in this Chapter is divided into six Transect Districts. These districts describe the physical form and character of a place, according to the density and intensity of its land use and urbanism.

Transect District: One of several areas on a zoning map regulated by this Chapter. Transect Districts are administratively similar to the land use districts in Chapter 19, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and public frontage.

Tree: a woody plant with an expected mature height of thirty feet or more and possessing either a single trunk or multiple trunks. Trees are often described in subcategories by common attributes and the uses they serve, such as:

i. **Ornamental Tree:** an Understory Tree planted primarily for its aesthetic value and as a landscape focal point, as opposed to its use of shading or screening even though it may perform all three uses.

ii. **Shade Tree:** typically a deciduous Tree - rarely an evergreen - planted primarily for its overhead canopy and the quality of the shade it provides.

iii. **Small/ Medium/ Large (Tree or Shrub):** a means of categorizing Trees or Shrubs based upon their canopy or spread at maturity assuming proper maintenance and normal growing conditions and which serves the purpose of allowing for their proper spacing in landscape plans.

iv. **Street Tree:** a Tree planted that is an element of a Thoroughfare assembly.

v. **Specimen Tree:** a particularly impressive or unusual example of a species due to its size, shade, age, or any other trait that epitomizes the character of the species.

vi. **Understory Tree:** a small to medium sized Tree with an expected mature height less than thirty feet and a canopy which may or may not offer a sufficient clearance height for pedestrians beneath.

Turning radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Village (VIL): a community unit type structured by a standard pedestrian shed oriented toward a common destination consisting of a mixed use center or corridor, and in the form of a medium-sized

Article 1

General

14 settlement near a transportation route. (Syn: traditional neighborhood development. neighborhood.)
(Regional example: historic Shepherdstown, WV)

Work-Live: a mixed use unit consisting of a commercial and residential use. It typically has a substantial commercial component that may accommodate employees and walk-in trade. The unit is intended to use predominantly as work space with incidental residential accommodations that meet basic habitability requirements. See live-work.

Yield: characterizing a thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, characterizing parking on such a thoroughfare.

ARTICLE 2. SECTOR PLANS

2.1 Instructions

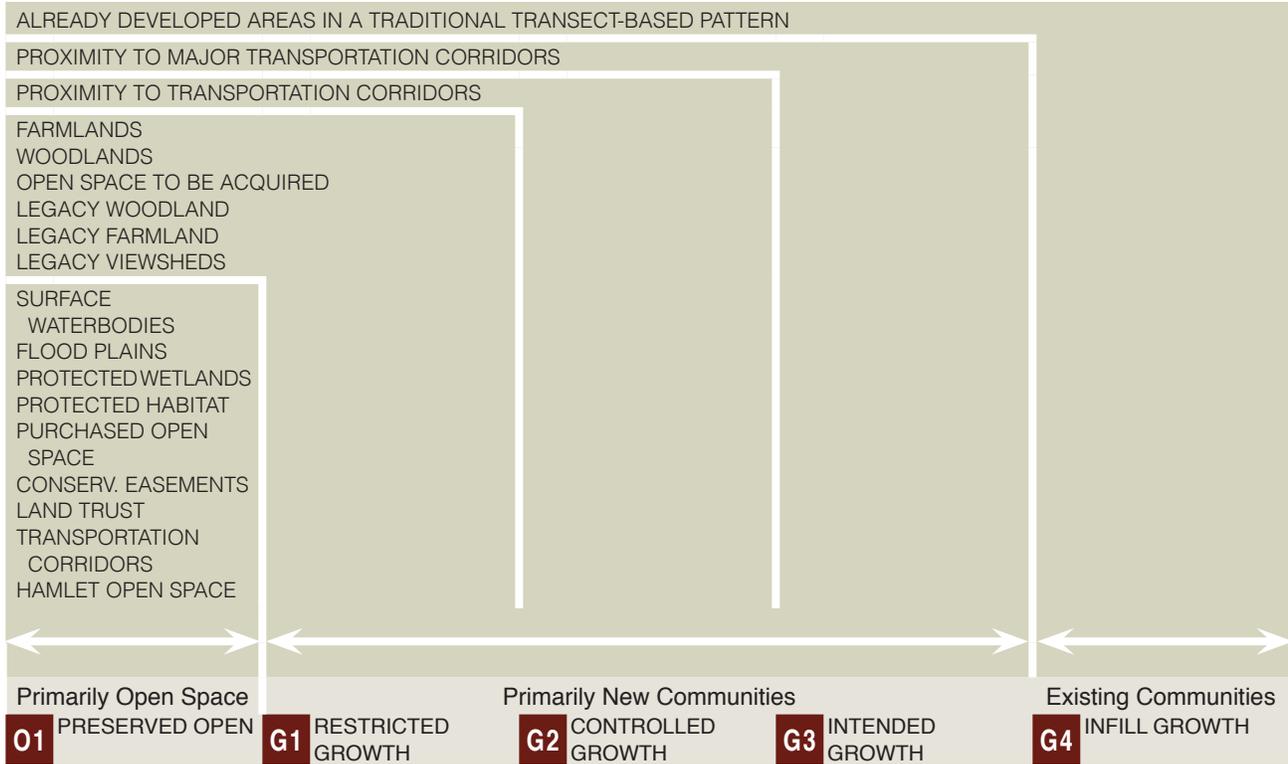
- 2.1.1 For lands within the City of Ranson that have been mapped pursuant to the Comprehensive Plan's Sector Plan Map, Figure 2.3, that prescribes the community types permitted in each Growth Sector, Article 3 and Article 4 regulate the standards of those community types.
- 2.1.2 Urban Growth Boundary Sectors are defined in the Comprehensive Plan, Section 2.3.3, and are comprised of open space, growth, and existing suburban areas. Growth areas are intended for the expansion, evolution, and retrofitting of community units, defined in Article 3 and Article 4, which in turn are comprised of Transect Zones, defined by the elements appropriate to them in Article 5. Suburban Sectors are not eligible for application under this chapter.

Article 2

Sector Plans

TABLE 1. SECTOR ALLOCATION

16 This table defines the geography, including both natural and infrastructure elements, determining areas that are or are not suitable for development. Specific community units of various intensities are allowable in specific Sectors. The existing Suburban Sector is not described here, as it is not eligible for application under this Chapter.



ARTICLE 3. NEW COMMUNITY PLANS

3.1 Instructions

- 3.1.1 The provisions of this Chapter shall be utilized upon re-zoning to the SmartCode New Community (SC-NC) District.
- 3.1.2 New community plans may contain more than one community unit and/or more than one community unit type.
- 3.1.3 Once the City Council approves rezoning to the SC-NC District, the parcel shall be marked as such on the zoning map of the City of Ranson. Within the SC-NC District, this Chapter shall be the exclusive and mandatory zoning regulation, and its provisions shall be applied in their entirety.
- 3.1.4 After rezoning is complete, the following approvals will be required:
 - a. Land development plan and plat. New community land development plan and plat that is submitted in accordance with the provisions of this Chapter, for the appropriate Sector of the Ranson, West Virginia Comprehensive Plan Sector Map, Figure 2.3 shall be approved by the Planning Commission in a public hearing in accordance with W. Va. Code 8A-5 et. seq. This process may be combined with the rezoning process (See 1.3 Rezoning.) at the election of the applicant.
 - i. Revisions to the new community plan and plat shall not subject the entire land development plan to review, but only that portion under revision.
 - ii. Revisions to the new community plan and plat that do not require a variance may be approved administratively by the CRC pursuant to the standards of this Article and Article 5.
 - b. Construction drawings. See Sec. 5.1.5.
 - c. Final plat. Final plats submitted in accordance with the provision of this Chapter shall be approved administratively by the Planning Department. See Sec. 5.1.9.
 - d. Site plan. Site plans shall be approved by the CRC per the standards and procedures in Sec. 5.1.11.
 - e. As-built site plans/improvement plans. As-built requirements and procedures shall be per Chapter 16 Planning and Development, Sec. 16-63.
- 3.1.5 SmartCode new community land development plan and plat applications:

The applicant shall submit to the City seven full sized copies of the plan, an 11 X 17 reduced copy and appropriate fees. Once the new community land development plan and plat is approved, one electronic version shall be provided. Such version shall be changeable, such as CAD, and one electronic version shall be non-changeable, such as a PDF version. These versions shall be available to the city for future computer application. The applicant shall submit a land development plan and plat with the following information provided:

 - a. Title, scale, date, and approximate north arrow.
 - b. Name and address of the applicant/owner and professional consultant responsible for preparation of the plan. If the applicant is not owner, a letter from the owner, signature on the application, or power of attorney shall be required for applicant to act as agent with full authority.
 - c. Existing Conditions Plan:
 - i. Existing land conditions and existing topography at a maximum of 20-foot contour intervals, using USGS topography or other available topographic survey and established or approximated 100-year flood plain limits as shown on the official flood

Article 3

New Community Plans

18

- insurance maps.
- ii. Soil types from USDA data.
- iii. Boundary lines of the property (certified boundary not required at this stage).
- iv. Location map at a scale of 1" = 2,000 feet with north arrow
- v. Natural features to be preserved and or removed (i.e. floodplains, wetlands, items on the National Register of Historic Places or within designated historic districts, known sinkholes, etc.).
- vi. The location and width of each existing easement within the new community land development plan and plat boundaries.
- vii. The location, width, and name of each existing improved or unimproved street, easement, or alley within 200 feet of the proposed subdivision.
- viii. Existing zoning of all abutting properties
- d. Statement as to how the new community land development plan and plat is consistent with the City of Ranson Comprehensive Plan.
- e. Proposed Community Plan:
 - i. Designation of community unit type
 - ii. Boundaries of community units based on adjusted pedestrian sheds
 - iii. Total site acreage
 - iv. Transect district locations with acreages and percentages
 - v. Block sizes
 - vi. Thoroughfares: location and designation of thoroughfare types and statement as to how thoroughfares, sidewalks, paths, and passages coordinate with bordering land development.
 - vii. Civic space types, acreages, percentage and location
 - viii. Special requirements, if applicable (See Section 3.12.)
 - ix. Special district locations with acreages and percentage of community unit, if applicable (See Article 6. Special Districts.)
 - x. Overlay district locations with acreages and percentage of community unit, if applicable (See Section 3.10 Overlay District Standards.)
 - xi. Any requested administrative waivers or variances
- f. Stormwater management:
 - i. narrative description of stormwater control measures
 - ii. estimate of total impervious surface
- g. Utilities
 - i. Statement demonstrating availability of utilities (guarantee not required)
- h. Environmental resources.
 - i. Contact department of natural resources regarding presence of rare, threatened or endangered species.

3.2 Sequence of Community Design

- 3.2.1 The new community regulating plan shall be structured using one or several pedestrian sheds applicable to its community unit type as required in Section 3.3. The pedestrian shed(s) should be located according to existing conditions, such as traffic intersections, adjacent developments, transit stations, and natural features. The site or any community unit within it may be smaller or larger than its pedestrian shed. The pedestrian shed is a planning guide, not a regulatory unit.
- 3.2.2 The pedestrian sheds shall be adjusted to include land falling between or outside them.

Community unit boundaries are determined by the boundaries of these adjusted pedestrian sheds and/or partial pedestrian sheds, herein after known as the community unit.

- 3.2.3 Areas of Transect District subdistricts (Section 3.4) shall be allocated within the boundaries of each community unit as appropriate to its type. See Section 3.3 and Table 3.
- 3.2.4 Civic districts shall be assigned according to Section 3.8.
- 3.2.5 Special districts, if any, shall be assigned according to Section 3.9 and Article 6. Special Districts.
- 3.2.6 The thoroughfare network shall be laid out according to Section 7.2.
- 3.2.7 Density shall be calculated according to Section 3.11 and Section 5.8.
- 3.2.8 Upon submittal, the CRC shall review and may administratively approve only if the submittal is consistent with the provisions of this Chapter. Any amendment(s) or alteration(s) to the approved new community regulating plan shall require a new submittal, but only of the portions altered. Any deviation that is not eligible for an administrative waiver shall only be approved by variance.

3.3 Community Unit Types

- 3.3.1 Hamlet (HAM)
 - a. A hamlet (HAM) shall be permitted within the G-1 Restricted Growth Sector and the G-2 Controlled Growth Sector.
 - b. A HAM shall be structured by one short or one standard pedestrian shed and shall consist of no fewer than 10 acres and no more than 50 acres, as allocated on Table 2.
 - c. A HAM shall include Transect Districts as allocated on Table 3. A minimum of 50% of the community unit shall be permanently allocated to a T1 Natural District and/or T2 Rural District.
 - i. A HAM shall maintain 660 feet of open space between the developed area and another community unit's developed area.
- 3.3.2 Village (VIL)
 - a. A village (VIL) shall be permitted within the G-2 Controlled Growth Sector, the G-3 Intended Growth Sector, and the G-4 Infill Growth Sector.
 - b. A VIL within the G-2 Controlled Growth Sector and the G-3 Intended Growth Sector shall be structured by one short, standard or linear pedestrian shed and shall be no fewer than 40 acres and no more than 200 acres, as allocated on Table 2. See Article 4 for infill VIL acreage requirements in the G-4 Infill Growth Sector.
 - c. A VIL shall include Transect Districts as allocated on Table 3.
 - d. Larger sites shall be designed and developed as multiple communities, each subject to the individual Transect District requirements for its type as allocated on Table 3. The simultaneous planning of adjacent parcels is encouraged.
- 3.3.3 Town Center (TCT)
 - a. A town center (TCT) shall be permitted within the the G-3 Intended Growth Sector, and the G-4 Infill Growth Sector.
 - b. A TCT within the G-3 Intended Growth Sector shall be structured by one standard, linear or long pedestrian shed that may be adjoined without buffers by one or several standard pedestrian sheds, and shall be no fewer than 80 acres and no more than 200 acres, as allocated on Table 2. See Article 4 for infill TCT acreage requirements in the G-4 Infill Growth Sector.
 - c. A TCT shall include Transect Districts as allocated on Table 3.
 - d. Larger sites shall be designed and developed as multiple communities, each subject

Article 3

New Community Plans

20

to the individual Transect District requirements for its type as allocated on Table 3. The simultaneous planning of adjacent parcels is encouraged.

3.3.4 Transit Oriented Development (TOD)

- a. Any VIL or TCT on an existing or projected MARC or bus rapid transit (BRT) network may be redesignated in whole or in part as TOD and permitted the reduced parking allowance in Section 5.8.3.d.

3.4 Transect Districts

- 3.4.1 Transect District subdistricts shall be assigned and mapped on each new community regulating plan according to the percentages allocated on Table 3.
- 3.4.2 A Transect District subdistrict may include any of the elements indicated for its Transect District number throughout this Chapter, in accordance with 1.4 Transect Districts and the metric standards summarized in Table 11, Table 12, Table 13, and Table 14.
- 3.4.3 Where practical, existing single-family residential dwellings shall be abutted by the T3 or T4 Transect Districts.

3.5 Thoroughfare and Block Standards

- 3.5.1 The thoroughfare network shall be structured to define blocks with the following maximum block face lengths and / or block perimeters:
 - a. T2O 660 ft. max / perimeter n/a
 - b. T3 2640 ft. perimeter
 - c. T4 2400 ft. perimeter
 - d. T5 2000 ft. perimeter
 - e. SDB 2800 ft. perimeter
 - f. SDI n/a
- 3.5.2 Block faces exceeding 500 feet shall be subdivided with a pedestrian passage that is a minimum of 8 ft. in width.
- 3.5.3 Block face length and block perimeter may be adjust by up to 10% by administrative waiver to accommodate specific site conditions. The City Manager or his designee must make the following written findings:
 - a. The waiver is consistent with the provisions of Section 1.2 Intent.
 - b. The waiver is consistent with the Comprehensive Plan.
 - c. The reduced thoroughfare network will not materially endanger the public health or safety.
 - d. The lack of connectivity will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - e. The location and character of the block structure, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - f. The block size will not adversely affect the district by impeding walkability.
- 3.5.4 Blocks adjacent to undeveloped land, areas unsuitable for development, or pre-existing incomplete blocks may be exempt from block face length and block perimeter requirements by administrative waiver. The City Manager or his designee must make the following written findings:
 - a. The waiver is consistent with the provisions of Section 1.2 Intent.
 - b. The waiver is consistent with the Comprehensive Plan.
 - c. The reduced thoroughfare network will not materially endanger the public health or safety.

- d. The lack of connectivity will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - e. The location and character of the block structure, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - f. The block size will not adversely affect the district by impeding walkability.
- 3.5.5 Rear access for all lots within T4 shall be provided by a rear lane or rear alley.
- 3.5.6 Rear access for all lots within T5 shall be provided by a rear alley.
- 3.5.7 Blocks with more than one Transect District designation shall use the highest designation to determine the block face length, block perimeter, and rear alley or rear lane requirements.

3.6 Lot Structure

- 3.6.1 Within each Transect District, lots shall be platted to have the following minimum and maximum lot widths, measured at the frontage line:
- a. T2O 40 ft. min. - 96 ft. max. Flag lots shall be permitted. (See Table 16.)
 - b. T3 50 ft. min. - 150 ft. max.
 - c. T4 20 ft. min. - 96 ft. max.
 - d. T5 20 ft. min. - 150 ft. max.
 - e. SDB 60 ft. min. - 300 ft. max.
 - f. SDB n/a
 - i. T4 and T5 minimums may be further reduced to 16 feet if required parking is provided on site.
- 3.6.2 Each lot shall have a primary frontage abutting a vehicular thoroughfare, except that 20% of the lots by number within the SC-NC District may have their primary frontage along a publicly accessible passage, or sidewalk. Rear alleys and rear lanes do not count as thoroughfares. If a lot fronts an alley or lane, such as a mews unit, it counts toward the 20% maximum.
- 3.6.3 Lots may have multiple frontages as illustrated on Table 17. One frontage line is designated the principal frontage line and all remaining frontage lines are designated as secondary.
- 3.6.4 Lots shall be divided into regulatory layers to control development as illustrated on Table 15 and Table 16. Prescriptions for the second, third and fourth layers pertain only to the primary frontage. Prescriptions for the first layer pertain to both frontages.

3.7 Thoroughfare Network Standards

- 3.7.1 Community plans must map a thoroughfare network plan including the following:
- a. The major thoroughfare network
 - b. Modifications to existing thoroughfares, if any
- 3.7.2 Community plans must include a major thoroughfare network in accordance with Section 7.2.
- 3.7.3 The thoroughfare network plan must map thoroughfares and intersections according to Section 3.5.1.
- a. Thoroughfare assemblies must be included for each mapped thoroughfare in accordance with Article 7.
 - b. All thoroughfares must connect to other thoroughfares, forming a network.
 - c. New thoroughfares must connect wherever possible to thoroughfares outside of the community unit.
 - d. The thoroughfares must be configured as a network creating blocks sized according to Section 3.5.1.

Article 3

New Community Plans

22

- e. The thoroughfares may deviate from the network outside of the pedestrian shed, to accommodate natural conditions, and to intersect major thoroughfares.

3.8 Civic Standards

3.8.1 Civic Space (CS) Specific to T3 - T5 Districts

- a. Each pedestrian shed shall assign 5 - 20% of its urbanized area to civic space
- b. Civic spaces shall be designed as described and distributed throughout Transect District as permitted in Table 31.
- c. Those portions of the T1 Natural District that occur within a development parcel shall be part of the civic space allocation and shall conform to the civic space types specified in Table 31.a and/or e.
- d. Each pedestrian shed shall contain at least one main civic space. The main civic space shall be within 800 feet of the geographic center of each pedestrian shed, unless topographic conditions, pre-existing thoroughfare alignments or other circumstances prevent such location. A main civic space shall conform to one of the types specified in Table 31.b, Table 31.c, or Table 31.d.
- e. Playgrounds shall be located so that every residential lot is within 1,000 feet of an entry to a playground, as measured along sidewalks that do not cross major thoroughfares. A playground shall conform to Table 31.e.
- f. Each civic space of type Table 31.c or Table 31.d shall have a minimum of 50% of its perimeter enfronting a Thoroughfare.
- g. Small spaces that do not conform to the specific standards of Table 31 are permitted and encouraged although they shall not contribute to the requirements of Subsection 3.8.1.a.
- h. The CRC must make the following written findings for the waiver:
 - i. The administrative waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The administrative waiver is consistent with the Comprehensive Plan.
 - iii. The use will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - iv. The use will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - v. The location and character of the use, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - vi. The location and character of the park design is such that it will not impede walkability and will provide adequate connections to nearby thoroughfares.

3.8.2 Civic Buildings (CB) Specific to T2O - T5 Districts

- a. The owner shall covenant to construct a meeting hall or a third place in proximity to the main civic space of each pedestrian shed. Its corresponding public frontage shall be equipped with a shelter and bench for a transit stop, if on an existing or planned transit route.
- b. Civic building sites shall not occupy more than 20% of the area of each pedestrian shed.

3.9 Special Districts

- 3.9.1 Special district designations shall be assigned to areas that, by their intrinsic size, use, or configuration, cannot conform to the requirements of any Transect District or combination of

districts.

- 3.9.2 Conditions of development for special districts not included in Article 6 shall be recommended by the Planning Commission and approved by the City Council and recorded in Article 6.
- 3.9.3 Special districts may be mapped within or outside of community units. If mapped within a community unit, a special district shall not exceed 20% of the net site area.
- 3.9.4 Special Districts shall conform to the heights, setbacks, and lot requirements of Table 22 and Table 23.
- 3.9.5 Business Special District (SDB)
 - a. SDB is available for industrial and manufacturing areas and areas with a high concentration of office and light industrial uses.
 - b. SDB is limited to a maximum size of 120 acres.
 - c. SDB may be mapped within or adjacent to village and town center community units.
 - d. SDB should be mapped within or adjacent to a TOD overlay district.
- 3.9.6 Industrial Special District (SDI)
 - a. SDI is available for industrial and manufacturing areas.
 - b. SDI is limited to a maximum size of 200 acres.
 - c. SDI may be mapped adjacent to village and town center community units.
 - d. SDI should be mapped within or adjacent to a TOD overlay district.

3.10 Overlay District Standards

- 3.10.1 TOD Overlay District
 - a. A new community regulating plan must designate any land located within a half-mile of an existing or proposed MARC station as a TOD.
 - b. TODs modify required parking as provided in Article 5.

3.11 Density Calculations

- 3.11.1 All areas of the community unit that are not part of the T1 District shall be considered cumulatively the net site area. The net site area shall be allocated to the various Transect Districts according to the parameters specified in Table 3.
- 3.11.2 Density shall be expressed in terms of housing units per acre.
- 3.11.3 The housing and other uses for each Transect District shall be determined at the building scale as limited by Table 7, Table 9 and Section 5.8.
- 3.11.4 While parking, lot size, building heights, set backs and lot coverage legally determine buildable density, this Chapter is calibrated to permit the following:
 - a. T2: .1 DUA
 - b. T3: 7 DUA
 - c. T4: 24 DUA
 - d. T5: 39 DUA

3.12 Special Requirements

- 3.12.1 A new community regulating plan may designate any of the following special requirements. These restrictions are applied to the plat by the applicant.
 - a. A differentiation of the thoroughfares as a-grid and b-grid. Frontages located more than 100' from the a-grid can be more readily considered for administrative waivers. The frontages assigned to the b-grid shall not exceed 30% of the total length of frontages within a pedestrian shed. B-grid signage may utilize the Chapter 19, Sec. 19 - 15 Signs. See Subsections 5.6.5 and 5.9.1.

Article 3

New Community Plans

24

- b. Mandatory and/or recommended retail frontage, requiring or advising that a building provide a shopfront at sidewalk level along the entire length of its private frontage. The shopfront shall be no less than 50% glazed in clear glass as generally described in Table 6 and specified in Subsection 5.6.6.
- c. Mandatory and/or recommended gallery frontage, requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The gallery frontage designation may be combined with a retail frontage designation.
- d. Mandatory and/or recommended porch front, requiring or advising that a porch be included in the private frontage.
- e. Build-to line, requiring the placement of the building facade along the line.
- f. Coordinated frontage, requiring that the public frontage (Table 27) and private frontage (Table 6) be coordinated as a single, coherent landscape and paving design.
- g. Mandatory and/or recommended terminated vista locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location.
- h. Cross block passages, requiring that a minimum 8-foot-wide pedestrian access be reserved between buildings.

TABLE 2. COMMUNITY UNIT CONFIGURATION

COMMUNITY UNIT	INTENSITY	LOCATION	ACREAGE	PEDESTRIAN SHED (TABLE 4)			
				SHP	SP	LSP	LP
HAMLET	LOW	Hamlets should be situated along or adjacent to regional thoroughfares, and are usually standing free in the landscape.	10 – 30	■			
	MEDIUM		20 – 50	■	■		
VILLAGE	LOW	Villages should be situated adjacent to towns and cities, along or adjacent to existing regional thoroughfares and transit that will support a medium intensity, mixed-use neighborhood.	40 – 100	■	■		
	MEDIUM		80 – 160		■	■	
	HIGH		100 – 200		■	■	
TOWN CENTER	LOW	Town centers should be situated adjacent to existing neighborhoods, along or adjacent to existing regional thoroughfares and transit that will support an urban, mixed-use center.	40 – 100		■		
	MEDIUM		80 – 160		■	■	■
	HIGH		100 – 200			■	■

TABLE 3. SC-NC PLAN REQUIREMENTS

TYPE	INTENSITY	TRANSECT DISTRICT PERCENTAGES								CIVIC SPACE PERCENTAGE	BLOCK SIZE
		T1	T2		T3	T4		T5			
			R	O	R	L	O	L	O		
HAMLET	LOW	30% max.	10 – 30%	10 – 20%	10 – 30%	10 – 20%	10% max.	n/a	n/a	5 – 20%	8 – 10 acres
	MEDIUM	20% max.	10 – 20%	20 – 30%	10 – 20%	10 – 30%	10% max.	n/a	n/a	5 – 20%	8 – 10 acres
VILLAGE	LOW		50% max.	50% max. *	10 – 30%	30 – 60%	10% max.	10% max.	20% max.	5 – 20%	5 – 8 acres
	MEDIUM		40% max.		30% max.	30 – 60%	20% max.	20% max.	5 – 25%	5 – 20%	5 – 8 acres
	HIGH		30% max.		20% max.	40 – 60%	30% max.	30% max.	10 – 30%	5 – 20%	5 – 8 acres
TOWN CENTER	LOW				30% max.	40 – 60%	20% max.	20% max.	10 – 20%	5 – 20%	5 acres max.
	MEDIUM				20% max.	40 – 60%	30% max.	30% max.	20 – 30%	5 – 20%	5 acres max.
	HIGH				10% max.	30 – 40%	20% max.	40% max.	30 – 40%	5 – 20%	5 acres max.

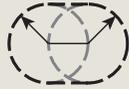
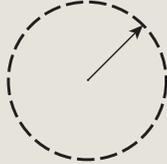
* Note: Village T2-O maximums may contribute to T4 minimums.

Article 3

New Community Plans

TABLE 4. PEDESTRIAN SHEDS

26

TYPE	DIMENSIONS	REQUIREMENTS	ILLUSTRATION
SHORT PEDESTRIAN SHED (SHP)	Walking Distance: 3 minutes Radius: 792 feet Acreage: 30 - 60 acres		
STANDARD PEDESTRIAN SHED (SP)	Walking Distance: 5 minutes Radius: 1,320 feet Acreage: 120 - 200 acres	The pedestrian shed must be oriented around one or more existing or planned common destinations.	
LINEAR PEDESTRIAN SHED (LSP)	Walking Distance: 5 minutes Radius: 1,320 feet Acreage: 200 acres Avg. distance between centers: .25 miles	The pedestrian shed must be oriented around a transportation hub, mixed-use corridor, or mixed-use center.	
LONG PEDESTRIAN SHED (LP)	Walking Distance: 10 minutes Radius: 2,640 feet Acreage: 200 - 500 acres	The pedestrian shed must be oriented around a transportation hub, mixed-use corridor, or mixed-use center	

ARTICLE 4. INFILL COMMUNITY PLANS

4.1 Instructions

- 4.1.1 For infill community plans in the G-4 Infill Growth Sector, infill land development plans and plats shall be submitted and approved as part of a rezoning application to Transect Districts.
- 4.1.2 Infill land development plans and plats shall plan, at minimum, an area the size of the pedestrian shed commensurate with its community unit type as listed in Section 4.2, and may regulate an area as small as 5 acres. The Planning Commission shall recommend and City Council shall approve the community unit type based on existing conditions and intended evolution in the plan area.
- 4.1.3 SmartCode infill community land development plan and plat applications:
The applicant, either the landowner or the Department of Community Development, shall submit to the City seven full sized copies of the plan, an 11 X 17 reduced copy and appropriate fees. Once the land development plan and plat is approved, one electronic version shall be provided. Such version shall be changeable, such as CAD, and one electronic version shall be non-changeable, such as a PDF version. These versions shall be available to the city for future computer application. The applicant shall submit a land development plan and plat with the following information provided:
- a. Title, scale, date, and approximate north arrow.
 - b. Name and address of the applicant/owner and professional consultant responsible for preparation of the plan. If the applicant is not owner, a letter from the owner, signature on the application, or power of attorney shall be required for applicant to act as agent with full authority.
 - c. Existing conditions plan with:
 - i. Existing land conditions and existing topography at a maximum of 20-foot contour intervals, using USGS topography or other available topographic survey and established or approximated 100-year flood plain limits as shown on the official flood insurance maps.
 - ii. Soil types from USDA data.
 - iii. Boundary lines of the property (certified boundary not required at this stage).
 - iv. Location map at a scale of 1" = 2,000 feet with north arrow
 - v. Natural features to be preserved and or removed (i.e. floodplains, wetlands, items on the National Register of Historic Places or within designated historic districts, known sinkholes, etc.).
 - vi. The location and width of each existing easement within the land development plan and plat boundaries.
 - vii. The location, width, and name of each existing improved or unimproved street, easement, or alley within 200 feet of the proposed subdivision.
 - viii. Existing zoning of all abutting properties
 - d. Statement as to how the infill community land development plan and plat is consistent with the City of Ranson Comprehensive Plan.
 - e. Proposed community plan:
 - i. Designation of community unit type
 - ii. Boundaries of community units based on adjusted pedestrian sheds
 - iii. Total site acreage
 - iv. Transect District locations with acreages and percentages

Article 4

Infill Community Plans

28

- v. Block sizes
 - vi. Thoroughfares: location and designation of thoroughfare types and statement as to how thoroughfares, sidewalks, paths, and passages coordinate with bordering land development.
 - vii. Civic space types, acreages, percentage and location
 - viii. Special requirements, if applicable (See Section 4.6.)
 - ix. Special district locations with acreages and percentage of community unit, if applicable (See Article 6.)
 - x. Overlay district locations with acreages and percentage of community unit, if applicable (See Section 4.3 Overlay District Standards.)
 - xi. Any requested administrative waivers or variances
 - f. Stormwater management:
 - i. narrative description of stormwater control measures
 - ii. estimate of total impervious surface
 - g. Utilities
 - i. Statement demonstrating availability of utilities (guarantee not required)
 - h. Environmental resources.
 - i. Contact department of natural resources regarding presence of rare, threatened or endangered species.
- 4.1.4 After rezoning to Transect Districts is complete, the following approvals will be required when subdivision is necessary:
- a. Construction drawings. See Sec. 5.1.5.
 - b. Final plat. Final plats submitted in accordance with the provision of this Chapter shall be approved administratively by the Planning Department. See Sec. 5.1.9.
 - c. Site plan. Site plans shall be approved by the Planning Department per the standards and procedures in Sec. 5.1.11.
 - d. Approvals from all affected state and federal agencies.
- 4.1.5 After rezoning to Transect Districts is complete, the following approvals will be required when subdivision is not necessary:
- a. Site plan. Site plans for development in Transect Districts shall be approved by the Planning Department per the standards and procedures in Sec. 5.1.11.
- ### 4.2 Community Unit Types
- 4.2.1 Infill regulating plans shall encompass one or more of the following community unit types. The allocation percentages of Table 3 shall be only used as guidelines.
- 4.2.2 Infill VIL (Village)
- a. An infill VIL should be assigned to neighborhood areas that are predominantly residential with one or more mixed use corridors or centers. An infill VIL shall be planned as at least one complete standard pedestrian shed, oriented around one or more existing or planned common destinations.
 - b. The edges of an infill VIL should blend into adjacent neighborhoods and/or Old Town without buffers.
- 4.2.3 Infill TCT (Town Center)
- a. An infill TCT should be assigned to neighborhood areas that are predominantly mixed use centers. An infill TCT shall be planned one complete standard pedestrian shed, oriented around one or more existing or planned mixed use corridors or centers.
 - b. The edges of an infill TCT should blend into adjacent neighborhoods and/or Old Town

without buffers.

4.3 Overlay District Standards

4.3.1 Infill TOD Overlay District

- a. Any infill VIL on an existing or projected MARC line or bus route may be redesignated in whole or in part as TOD and permitted the higher density represented by the effective parking allowance in Section 5.8.3.d.

4.4 Transect Districts

- 4.4.1 A Transect District shall include elements indicated by Article 1, Article 3, and Article 5.

4.5 Special Districts

- 4.5.1 Areas that, by their intrinsic size, use, or configuration, cannot conform to the requirements of any Transect District or combination of districts shall be designated as special districts as indicated by Article 6.

4.6 Special Requirements

- 4.6.1 An infill community regulating plan may designate any of the following special requirements. These may be placed on the plat by the applicant, whether the landowner or the Department of Community Development:
 - a. A differentiation of the thoroughfares as a-grid and b-grid. Frontages located more than 100' from the a-grid can be more readily considered for administrative waivers. The frontages assigned to the b-grid shall not exceed 30% of the total length of frontages within a pedestrian shed. B-grid signage may utilize the Chapter 19, Sec. 19 - 15 Signs. See Subsections 5.6.5 and 5.9.1.
 - b. Mandatory and/or recommended retail frontage, requiring or advising that a building provide a shopfront at sidewalk level along the entire length of its private frontage. The shopfront shall be no less than 50% glazed in clear glass as generally described in Table 6 and specified in Article 5.
 - c. Mandatory and/or recommended gallery frontage, requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The gallery frontage designation may be combined with a retail frontage designation.
 - d. Mandatory and/or recommended porch front, requiring or advising that a porch be included in the private frontage.
 - e. Build-to line, requiring the placement of the building facade along the line.
 - f. Coordinated frontage, requiring that the public frontage (Table 27) and private frontage (Table 6) be coordinated as a single, coherent landscape and paving design.
 - g. Mandatory and/or recommended terminated vista locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location.
 - h. Cross block passages, requiring that a minimum 8 foot wide pedestrian access be reserved between buildings.

Article 4

Infill Community Plans

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ARTICLE 5. SUBDIVISION & ZONING

5.1 Instructions

- 5.1.1 Lot and building plan approval for areas subject to a regulating plan approved under either Article 3 or Article 4 shall be subject to the following requirements of this Chapter.
- 5.1.2 Site and buildings plans submitted under this Chapter require administrative approval by the CRC.
- 5.1.3 The following Sections of Chapter 16 shall continue to be applicable to issues not covered by this Chapter except where in conflict with Sec. 1.2 Intent:
 - a. Article II, Division 7, Sec. 16-97;
 - b. Article II, Division 7, Sections 16-100 through 16-103;
 - c. Article II, Division 8;
 - d. Article II, Division 10;
 - e. Article II, Division 11;
 - f. Article II, Division 14, Sections 16-170 through 16-176;
 - g. Article II, Division 14, Sec. 16-178, except where in conflict with Sec. 5.10 and Sec. 7.5 of this Chapter;
 - h. Article II, Division 14, Sec. 16-179, except where in conflict with Sec. 5.13 of this Chapter.
- 5.1.4 Site and building plans submitted under this Chapter shall show the following, in compliance with the standards described in this Chapter:
- 5.1.5 For construction drawings submittal. Following approval of the land development plan and plat, the applicant shall have prepared, by a professional engineer registered in the state, engineering plans consisting of complete construction drawings and specifications of all easements, streets, traffic control devices, street lights, sanitary sewers, stormwater facilities, water system facilities, sidewalks, parks and recreation facilities and other improvements required by this section. Such drawings shall have a maximum border size of 22 X 34 and shall be printed on 24 X 36 paper maximum.
 - a. Each sheet shall be certified (sealed) by a professional engineer. Engineering plans shall be submitted to the City Manager or his designee for review and approval as a ministerial permit.
 - b. All improvements required pursuant to these regulations shall be constructed in accordance with the design standards and plan requirements of this article or as required by the city, and where applicable, the requirements and authorization of the appropriate state agency, utility company, or local franchisee.
 - c. Any modification of the construction drawings by the applicant or his engineer, either prior to or during construction, shall be transmitted to the city in writing.
 - d. Once the construction drawings have been approved, the applicant shall also submit an 11 X 17 of the approved set of construction drawings.
 - e. In addition, an electronic version in formats acceptable to the city shall be submitted. At a minimum, one electronic version shall be changeable, such as CAD, and one electronic version shall be non-changeable, such as PDF. These versions shall be available to the city for future computer application.
 - f. The construction drawings shall be accompanied by the following information:
 - i. Site conditions:
 - (1) Vicinity map at a scale of 2,000 feet or more to the inch indicating the location of the property with respect to surrounding property and streets. The map shall

Article 5

Subdivision & Zoning

32

show all streets and property within 1,000 feet of the applicant's property. All property held by the applicant in the area shall be identified.

- (2) All existing pertinent features, either natural or man-made, that may influence the design of the subdivision, such as watercourses, tree groves, specimen trees (excluding those within tree groves to remain), swamps, rock outcrops, sink holes, floodplain, wetlands, outstanding natural topographic features, power transmission towers, archeological, scenic or historic areas, cemeteries, graveyards, grave sites, existing buildings, sewers, water mains, culverts, overhead utility lines, fire hydrants, and location of underground utilities within or adjacent to the tract.
 - (3) Existing topography with two-foot contour intervals. Where the terrain is rugged and hilly and where existing grades are ten percent or more, five-foot contour intervals will be permitted over the area where such grades exist. Contour lines shall be shown 50 feet beyond the subdivision boundary.
 - (4) Location, widths, and names of all existing improved or unimproved streets or alleys on or within 100 feet of the subdivision. Recorded, but unimproved streets shall be shown with dashed lines.
 - (5) Location of individual wells and/or septic tanks.
 - (6) Zoning classification and existing use of the tract and adjoining properties
- ii. Proposed Subdivision:
- (1) A drawing on a scale no smaller than 1" = 100 feet of proposed layout land use and lots.
 - (2) Subdivision boundaries with bearings and distances; all existing easements, railroad and utility right-of-way(s) and the purpose for which such easements and right-of-way(s) have been established; parks and other public open spaces.
 - (3) Copies of proposed deed restrictions.
 - (4) Tabulation of acreages:
 - (a) Total site acreage
 - (b) Civic space acreages, percentage and location
 - (c) Total number of each lots in each Transect District with acreages and %
 - (d) Number of units per lot and total units
 - (5) The layout of all proposed and existing lots with lot widths for each lot and building setback lines.
 - (6) Estimated Lot coverage
 - (7) The locations, width, and names of proposed streets and alleys (street names shall not be duplicated, and they shall be reviewed and approved in accordance with Ranson Municipal Code 17-5).
 - (8) The approximate location, dimensions, and area of all property proposed to be dedicated or temporarily reserved for public use, or to be reserved by a blanket covenant for use of all property owners in the subdivision and conditions for such conveyance or reservation. Also, the location, dimensions, area, and purposes of any proposed easements.
 - (9) Proposed public improvements, streets, or other major improvements planned by public bodies for future construction on or near the proposed subdivision or any street, park, or public improvement shown on the city comprehensive development plan.

- (10) A written offer of dedication of streets and other public property.
 - iii. Site Improvements
 - (1) Street tree and Public Landscaping Plan
 - (2) Public Lighting Plan
 - (3) Utilities
 - (a) Proposed provision of water supply, fire protection, disposal of sanitary waste, storm drainage, stormwater management, sidewalks, landscaping, and other improvements.
 - (b) The location of existing and proposed gas lines, electric and telephone lines/poles, and streetlights.
 - (4) Grading Plan
 - (5) Sediment & Erosion Control Plan
 - (6) Sequence of Construction
 - iv. Locations of existing survey monuments and proposed new monuments.
 - v. Map information:
 - (1) The date and substance of any revisions to the plat are to be indicated in a revision block that is drawn on the plat.
 - (2) The name and address of the owner(s) of the land to be subdivided, and the name and address of the applicant, if other than the owner.
 - (3) A letter from the owner, signed application, or power of attorney, if different from the applicant, authorizing the applicant to act as agent with full authority.
 - (4) The name, address, and seal of the registered engineer/land surveyor licensed in the state and responsible for the preparation of the plat.
 - (5) The proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the city.
 - (6) North arrow, scale, and date.
 - (7) The final plat shall provide a space for an owner's (individual or corporation) certification and dedication, surveyor's certificate, and planning commission approval.
 - vi. Intergovernmental agency review. As part of construction drawing review, the applicant shall obtain approvals from all affected outside agencies. Copies of approval letters and plans shall be provided to the city as part of this approval.
- 5.1.6 Site plan review in Old Town shall only be required for any development which:
- a. contains more than one use;
 - b. is located on a parcel or parcels equal to or greater than one acre;
 - c. contains more than two units; or
 - d. contains commercial and/or industrial development.
- 5.1.7 After approval of construction drawings, applicant is eligible to begin site improvements. Site improvements must be constructed prior to final plat approval per Chapter 16 Sec. 16-81 or performance bond shall be provided per Sec. 16-80 through 16-87.
- 5.1.8 Final plat procedure. Upon approval of the construction drawings, the applicant may submit the following general requirements for official submittal of a final plan:
- a. The proposed plat for recordation shall be prepared by a professional land surveyor properly licensed in the state, and shall conform to this article and to the approved land development plan and plat and construction drawings. The final plat shall incorporate all modifications and revisions specified by the planning commission and shall comply with the provisions of this article. Significant deviations from the approved land develop-

Article 5

Subdivision & Zoning

34

ment plan and plat or construction drawings, as determined by the City Manager or his designee, shall require additional review and approval and may include referral to the planning commission and possible public hearing at the planning commission's discretion. Minor modifications may be permitted.

- b. The final plat may be submitted in sections/phases with each covering part of the entire proposed subdivision.
- c. The final plat and supporting documents shall comply with the provisions of this article. The applicant shall provide copies of all required state and federal approvals including, but not limited to:
 - i. State department of health;
 - ii. State department of environmental protection for erosion and sediment control and groundwater protection and underground injection control plan;
 - iii. Potomac Edison;
 - iv. Jefferson County office of emergency services—Addressing office for 911 road naming;
 - v. Corps of engineers; and
 - vi. Others as required by the City Manager or his designee or the planning commission.
- d. For purposes of this section, a final plat shall be deemed to be officially submitted on the date it (1) submitted, satisfies the requirements of this article, and (2) meets all terms and conditions of the planning commission, land development plan and plat, construction drawings; and (3) and is technically approved by all affected departments and agencies.
- e. The City Manager or his designee may review but shall not forward to the planning commission any final plat that is not officially submitted.
- f. The city shall retain the original and one electronic version of the approved plans and final plat in accordance with this article.
- g. Approval of final plat. The applicant shall use the following procedure for submission of the final plat that is eligible for administrative approval:
 - i. The application for final plat approval shall be on forms provided by the city and accompanied by the required fee.
 - ii. The application shall be accompanied by the appropriate number of copies and supporting documents as needed by the city. No final plat shall be deemed officially submitted until such time all conditions of 5.1.6.d have been met.
 - iii. The planning commission shall ministerially approve the final plat if the CRC determines that all conditions of this section have been satisfied. Applications deemed not officially submitted shall not be forwarded to the Planning Commission. Determinations that applications are incomplete may be appealed to the planning commission. If the application is deemed complete by the planning commission, the commission shall approve the plat. If the planning commission deems the application is incomplete, the applicant shall furnish the requested information prior to commission approval. The timeframe in 6.1.6.h. shall not start until the application is deemed complete.
- h. Planning commission approval of final plat.
 - i. The planning commission shall review the final plat based on the conditions approved under the land development plan and plat and construction drawings and within 45 days of receipt of an officially submitted final plat, the commission shall

Article 5

Subdivision & Zoning

35

approve, the plat if the application is deemed complete. The Commission may modify the plan or deny the plat only if the application is deemed incomplete.

- i. The final plat.
 - i. The final plat shall contain the action of the planning commission including conditions of approval, and date of approval.
 - ii. The owner shall sign the reproducible of the approved final plat stating that the requirements of the planning commission have been understood and shall be followed.
 - iii. If approved by the planning commission, the chairman of the planning commission shall affix his signature and date upon the original Mylar plat, and the owner shall file the final plat in the office of the clerk of Jefferson County.
 - iv. A signed final plat shall be valid for recordation for one year from the date of signature. Any plat that has not been recorded within such time shall be re-reviewed under any terms and conditions as approved by the planning commission.
- 5.1.9 Final plat requirements.
- a. The final plat shall be legibly drawn in black or blue waterproof ink on permanent material acceptable to the recording authority of the state. The scale shall not be smaller than one inch equals 100 feet or alternate scale approved by the agent, and the size of the sheet shall be 18 X 24 inches, including a one and one-half inch margin for binding along the left edge. When more than one sheet is required, an index sheet of the same size shall be submitted showing the entire subdivision drawn to scale. The applicant shall submit, and the agent shall retain, the number of copies and all supporting documentation as required by the city.
 - b. In addition, an electronic version of the approved plat, in formats acceptable to the city shall be submitted. At a minimum, one electronic version shall be changeable, such as CAD, and one electronic version shall be nonchangeable, such as PDF.
 - c. The final plat shall show the following information:
 - i. All plat boundaries and property corners shall be tied to state plane coordinates or shall be referenced to magnetic meridian and show declination from true north. If the subdivision is referenced to the state grid, northing and easting coordinates shall be shown for a minimum of three key boundary points. The plat will specify the average grid factor and distances shall be reflected as geodetic.
 - ii. The name of the subdivision and plat title for referencing when recording and the tax map and parcel number of all the tracts shown on the plat.
 - iii. The district or municipality, county and state where the property is located.
 - iv. Names and location of adjoining subdivisions, and location and ownership names of adjoining unsubdivided property. The plat shall also contain the current conveyance reference for the adjoining landowners.
 - v. The evidence of possession on or near the property line.
 - vi. General location information shall be provided. The name and location of any creeks, rivers or roads near the property and any other identifiable landmarks shall be noted to locate the property. The plat shall include ties to significant objects.
 - vii. Grid North or true and magnetic north reference with declination, graphic scale and date of survey;
 - viii. The name, address, and signature of the current or past owner of the land and the current conveyance reference for the subject property;
 - ix. The name, address, signature, and seal of the registered professional land surveyor

Article 5

Subdivision & Zoning

36

responsible for the preparation of the plat, and certification that the plat represents a survey made by that individual and that all monuments shown thereon actually exist, and that their location, size, and material are correctly shown.

- x. The measured length and direction of each boundary line by distance, bearing and quadrant. All boundary lines shall be described with lengths to hundredths of a foot and bearings to the nearest second. The error of closure for the property boundary shall be 1:15,000. The plat shall identify any overlaps and gaps in record lines, former deed or grant lines as needed.
- xi. Description of the accurate location and material of all permanent existing and proposed reference monuments including whether the monuments were found or set. All corners shall contain markers.
- xii. The exact layout for the subdivision, including:
 - (1) All plats shall include a metes and bounds description with a description of the point of beginning street and alley lines, their names, bearings, angles of intersections and widths, including widths along the line of any obliquely intersecting street.
 - (2) A table that indicates the dimensions of all arcs, radii, points of curvature, and tangent bearings.
 - (3) All easements or right-of-ways, when provided for or owned by public utilities, with the limitation of the easement right definitely stated on the final plat.
 - (4) All lot lines shall be described with lengths to hundredths of a foot and bearings to the nearest second.
 - (5) The area, acreage or square footage of the subdivided and residue property.
- xiii. The subdivision name, lots, blocks and plat reference. Lots numbered in numerical order, and blocks lettered in alphabetical order throughout the entire subdivision. Numbers will be contained within circles, and block letters will be contained within squares.
- xiv. Building setback lines, the minimum as fixed by the zoning ordinance, any other set back lines established by public authority, and those stipulated in any deed restrictions.
- xv. Accurate outlines of any areas to be reserved for common use in the subdivision or for general public use with purposes indicated thereon. The outlined area of the property and all significant parts, including streets, alleys and non-lotted areas of a subdivision shall be identified;
- xvi. A written offer of dedication of streets and other public property.
- xvii. The final plat shall provide a space for an owner's (individual or corporation) certification and dedication, surveyor's certificate, and planning commission approval.
- xviii. The final plat shall be accompanied by:
 - (1) Copies of protective covenants in form for recording, including covenants governing the maintenance of undedicated public spaces or reservations.
 - (2) Such other certificates, affidavits, endorsements, or agreements as may be required by the planning commission.
 - (3) Certification that the applicant has installed all improvements in accord with the conditions of the planning commission and this article or a surety bond has been submitted and accepted and public improvement agreement to complete the construction of all improvements required by this article and in

accordance with division 6.

- (4) Approvals from all affected state and federal agencies.

5.1.10 After recording the final plat, the applicant is eligible to sell lots.

5.1.11 Final site plan application:

- a. The site plan shall be submitted by the applicant on durable paper and shall be clear and legible. The scale shall be no smaller than one inch equals 100 feet and the minimum size of sheets shall be 24 X 36 inches, including a one and one-half inch margin for binding along the left edge. When more than one sheet is required, an index sheet of the same size shall be submitted showing the entire development drawn to scale. The site plan shall be labeled "SITE PLAN".
- b. The site plan shall show the following information:
 - i. Map information:
 - (1) The date and substance of any revisions to the plat are to be indicated in a revision block that is drawn on the plat.
 - (2) The name and address of the owner(s) of the land, and the name and address of the applicant, if other than the owner.
 - (3) A letter from the owner, signed application, or power of attorney, if different from the applicant, authorizing the applicant to act as agent with full authority.
 - (4) North arrow, scale, and date.
 - (5) All site plans as described below shall provide a space on the plan for property owner certification to be placed on the plan once approved by the planning department. The note shall read as follows:
 - (a) The owner of this property hereby affirms that these plans meet the requirements of the Ranson Zoning and Subdivision Ordinances and the above conditions of approval set forth by the Ranson Planning Commission. (Owner's Signature) (Date)
 - ii. Site Conditions
 - (1) Vicinity map at a scale of 2,000 feet or more to the inch indicating the location of the property with respect to surrounding property and streets. The map shall show all streets and property within 1,000 feet of the applicant's property. All property held by the applicant in the area shall be identified.
 - (2) All existing pertinent features, either natural or man-made, that may influence the design of the site, such as watercourses, tree groves, specimen trees of greater than 2' caliper (excluding those within tree groves to remain), swamps, known sink holes, floodplain, jurisdictional wetlands per Army Corps of Engineers, outstanding natural topographic features, items on the National Register of Historic Places, grave sites, existing buildings, sewers, water mains, culverts, overhead utility lines, fire hydrants, and location of underground utilities within the tract.
 - (3) Existing topography with two-foot contour intervals. Contour lines (may be extrapolated) shall be shown 50 feet beyond the site boundary.
 - (4) Location, widths, and names of all existing improved or unimproved streets or alleys on or within 100 feet of the subdivision. Recorded, but unimproved streets shall be shown with dashed lines.
 - (5) Location of individual wells and/or septic tanks.
 - (6) Zoning classification and existing use of the tract and adjoining properties.
 - iii. Proposed Development:

Article 5

Subdivision & Zoning

38

- (1) A drawing on a scale no smaller than 1" = 100 feet of proposed layout with lot widths and building setbacks
 - (2) Lot occupation – lot coverage, building placement
 - (3) Building form – façade alignment, façade buildout, setback encroachments, encroachment depths, private frontage type
 - (4) Building configuration – Building height, building elevation, designation of land use with total number of residential units and square footage for commercial uses, fenestration
 - (5) Outbuilding information – height, accessory unit use, accessory unit size
 - (6) Architectural standards
 - (7) The approximate location, dimensions, and area of all property proposed to be dedicated or temporarily reserved for public use, or to be reserved by a blanket covenant for use of all property owners in the community unit and conditions for such conveyance or reservation. Also, the location, dimensions, area, and purposes of any proposed easements.
- iv. Site Improvements
- (1) Driveways and Parking – number of spaces, location and dimensions of all parking and loading areas, handicapped spaces, driveways, parking aisles, curbing, and islands
 - (2) Roadway design plans and profiles.
 - (a) The locations, width, and names of proposed streets and alleys (street names shall not be duplicated, and they shall be reviewed and approved by central dispatch). Proposed elevations at the centerline of the street shall be shown at the beginning and end of each street, at street intersections, and at all points where there is a change in grade or direction. A profile of each street, at a minimum scale of one inch = fifty feet horizontal and one inch = five feet vertical with grades indicated shall be included.
 - (b) The cross-section of each street, at a scale of one inch = ten feet or less, showing the width and type of pavement, the size and type of curb and gutter, the location and width of sidewalks, utilities, and street trees.
 - (3) Stormwater management plan - Refer to stormwater management requirements in Sec. 16-97.
 - (4) Utility plan.
 - (a) Connections with existing public water supply. Provide both plan and profile view of the proposed water lines including size, depth, slope, invert elevations, materials, and valve locations.
 - (b) Connections with existing public sanitary sewer system or alternative means of sewage treatment and disposal. Provide both plan and profile view of the proposed sewer lines including size, depth, slope, invert elevations, and materials.
 - (c) Calculations showing the estimated amount of water consumption and sewage generated by the proposed development.
 - (d) The locations of proposed fire hydrants (pursuant to Sec. 16-101), gas, electric, cable and telephone service.
 - (5) Grading plan. Showing existing and proposed topography showing locations of proposed buildings, driveways, parking lots, and utilities.

- (6) Landscape, lighting, fencing and signage plan(s), with information sufficient to demonstrate compliance with code.
 - (a) Location of all proposed landscaping, fencing, street lighting, and signage may be shown on one plan unless it is necessary to separate the information for clarity.
 - (b) Location of trees and vegetation to be retained.
 - (7) The location and design of any exterior oil/grease separator or trap if applicable.
 - (8) For commercial development, the location of any dumpster pads for waste disposal with necessary screening enclosure.
 - (9) Location of existing survey monuments and proposed new monuments.
- 5.1.12 The City Manager or his designee shall review the application submitted to the planning commission and the planning commission shall approve only if the submittal is consistent with the provisions of this Chapter and past required approvals (Chapter 3 or Chapter 4). Any amendment(s) or alternation(s) to the approved building and site plan shall require a new submittal, but only of the portions altered. The Planning Commission shall not hold a public hearing if submittal is consistent with the provisions of this Chapter and all past required approvals (Article 3 or 4).
- 5.1.13 After approval of site plan the applicant is eligible to submit a building permit application consistent with Article 5 of Chapter 19A of the Ranson Municipal Code.
- 5.1.14 As-built site plans/improvement plans - See requirements at Sec. 16-63.

5.2 Pre-existing Conditions

- 5.2.1 Existing buildings and appurtenances that do not conform to the provisions of this Chapter may continue in use as they are until a substantial modification is requested, pursuant to the standards of Sec. 19-16 of Chapter 19.
- 5.2.2 The modification of existing buildings is permitted by right if such changes result in greater conformance with the specifications of this Chapter.
- 5.2.3 The restoration or rehabilitation of an existing building shall not require the provision of (a) parking in addition to that existing nor (b) on-site stormwater retention/detention in addition to that existing, unless otherwise required by County or State Code. Existing parking requirements that exceed those for this Chapter may be reduced as provided by Table 9 and Table 10.
- 5.2.4 Existing land development plans and plats within the G4 Sector that were approved prior to the adoption of this Chapter may deviate from the following requirements:
 - a. Private frontage type (See Table 6.)
 - b. Parking location standards (See Sec. 5.9 and Table 11 - Table 14.)
 - c. Principal building front setback, up to 20% (See Table 11 - Table 14.)
- 5.2.5 Any undeveloped area over six acres shall provide connectivity as necessary to comply with 3.5.1.

5.3 Special requirements

- 5.3.1 To the extent that any land development plan and plat designates any of the following special requirements, standards shall be applied as follows:
 - a. A differentiation of the thoroughfares as a-grid and b-grid. Frontages located more than 100' from the a-grid can be more readily considered for administrative waivers. The frontages assigned to the b-grid shall not exceed 30% of the total length of frontages within a pedestrian shed. B-grid signage may utilize the Chapter 19, Sec. 19 - 15 Signs.

Article 5

Subdivision & Zoning

40

See Subsections 5.6.5 and 5.9.1.

- b. Mandatory and/or recommended retail frontage, requiring or advising that a building provide a shopfront at sidewalk level along the entire length of its private frontage. The shopfront shall be no less than 50% glazed in clear glass as generally described in Table 6 and specified in Article 5.
- c. Mandatory and/or recommended gallery frontage, requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The gallery frontage designation may be combined with a retail frontage designation.
- d. Mandatory and/or recommended porch front, requiring or advising that a porch be included in the private frontage.
- e. Build-to line, requiring the placement of the building facade along the line.
- f. Coordinated frontage, requiring that the public frontage (Table 27) and private frontage (Table 6) be coordinated as a single, coherent landscape and paving design.
- g. Mandatory and/or recommended terminated vista locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location.
- h. Cross block passages, requiring that a minimum 8 foot wide pedestrian access be reserved between buildings.

5.4 Civic Areas

5.4.1 General

- a. Civic areas are designated on the land development plan and plat as civic space (CS) or civic building (CB).
- b. Parking requirements for civic districts shall be determined by Table 9. For parking location standards, see Section 5.9.

5.4.2 Civic Spaces (CS)

- a. Civic spaces shall be generally designed as described in Table 31.

5.5 Building Placement

5.5.1 Specific to district T2

- a. Building placement is constrained by Table 11. T2O Standards.

5.5.2 Specific to districts T2O, T3, T4, T5

- a. Newly platted lots shall be dimensioned according to Table 11 - Table 14 and / or Table 22 and Table 23.
- b. Buildings shall be placed in relation to the boundaries of their lots according to Table 11 - Table 14 and / or Table 22 and Table 23.
- c. One principal building at the frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in Table 15.
 - i. T2O lots with a depth greater than 150 feet shall be permitted 2 outbuildings at the rear of the principal building.
- d. Lot coverage by building shall not exceed that recorded in Table 11 - Table 14 and / or Table 22 and Table 23.
- e. Facades shall be built parallel to a rectilinear principal frontage line or to the tangent of a curved principal frontage line, and along a minimum percentage of the frontage width at the setback, as specified as frontage buildout on Table 11 - Table 14 and / or Table 22 and Table 23.
- f. Setbacks for principal buildings shall be as shown in Table 11 - Table 14 and / or Table

- 22 and Table 23. Setbacks may be adjusted by up to 10% by administrative waiver to accommodate specific site conditions. The City Manager or his designee must make the following written findings:
- i. The waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The waiver is consistent with the Comprehensive Plan.
 - iii. The building placement will not materially endanger the public health or safety.
 - iv. The building placement will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - v. The location and character of the building placement, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - vi. The building placement will not adversely affect the district by altering its character.
- g. Rear setbacks for outbuildings shall be a minimum of 3 feet measured from the property line. In the absence of rear alley or rear lane, the rear setback shall be as shown in Table 11 - Table 14 and / or Table 22 and Table 23.

5.6 Building Configuration

- 5.6.1 General to districts T2, T3, T4, T5
- a. The private frontage of buildings shall conform to and be allocated in accordance with Table 6.
 - b. Buildings on corner lots shall have two private frontages as shown in Table 17. Prescriptions for the second, third and fourth layers pertain only to the principal frontage. Prescriptions for the first layer pertain to both frontages.
 - c. All facades shall be glazed with clear glass no less than 15% of the first Story, except as required by the West Virginia Alcohol Beverage Control Administration.
 - d. Building heights, setbacks, and expression lines shall conform to Table 5.
 - e. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial use, which shall be a minimum of 11 feet with a maximum of 25 feet. A single floor level exceeding 14 feet, or 25 feet at ground level, shall be counted as two (2) stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional story.
 - i. Existing structures in Old Town are exempt from Subsection 5.6.1.e.
 - f. In a parking structure or garage, each above-ground level counts as a single story regardless of its relationship to habitable stories.
 - g. Height limits do not apply to attics or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.
 - h. Except for solar panels and geo-thermal wells, all outdoor electrical, plumbing and mechanical equipment shall be located in the second or third layer and concealed from the frontage view. These facilities shall not encroach into the first layer.
 - i. The habitable area of an accessory unit within a principal building or an outbuilding shall not exceed 500 square feet, excluding the parking area.
- 5.6.2 Specific to district T2O
- a. Buildings within this district shall have a fourth layer. Prescriptions for the fourth layer shall be as shown in Table 16.
 - b. Balconies, open porches, bay windows and stoops may encroach the first layer 80% of its depth.
 - c. Awnings may encroach the sidewalk to within 2 feet of the curb but must clear the side-

Article 5

Subdivision & Zoning

42

walk vertically by at least 8 feet.

- d. Retail uses shall be restricted to 1500 sq. ft. or less.
- e. Each outbuilding shall shall not exceed 50% of the square footage of the principal building floorplate.

5.6.3 Specific to district T3

- a. No portion of the private frontage may encroach the sidewalk.
- b. Open porches may encroach the first layer 50% of its depth. (Table 15)
- c. Balconies and bay windows may encroach the first layer 25% of its depth except that balconies on porch roofs may encroach as does the porch.

5.6.4 Specific to districts T4

- a. Balconies, open porches, bay windows and stoops may encroach the first layer 80% of its depth. (Table 15)
- b. Awnings may encroach the sidewalk to within 2 feet of the curb but must clear the sidewalk vertically by at least 8 feet.

5.6.5 Specific to district T5

- a. Awnings and galleries may encroach the sidewalk to within 2 feet of the curb but must clear the sidewalk vertically by at least 8 feet.
- b. Stoops, lightwells, balconies, bay windows, and terraces may encroach the first layer 100% of its depth. (Table 15)

5.6.6 Specific to districts T2O, T4, T4O, T5L, T5

- a. The Shopfront Private Frontage shall be no less than 50% glazed in clear glass as generally described in Table 6 and specified in this Chapter.
- b. Loading docks and service areas shall be permitted on b-grid frontages and shall not be permitted on or within 100 feet of an a-grid frontage.
- c. In the absence of a building facade along any part of a frontage line in T5, a streetscreen shall be built co-planar with the facade.
- d. Streetscreens shall be between 3.5 and 8 feet in height. The streetscreen may be replaced by a hedge or fence by administrative waiver. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. The City Manager or his designee must make the following written findings:
 - i. The waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The waiver is consistent with the Comprehensive Plan.
 - iii. The wall will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - iv. The fence will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - v. The location and character of the fence, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - vi. The location and character of the fence will not adversely affect the district by impeding walkability
- e. A first level residential or lodging use shall be raised a minimum of 1.5 feet from average sidewalk grade.
 - i. Existing structures in Old Town are exempt from Subsection 5.6.6.e.

5.7 Building and Land Use

- 5.7.1 Conditional uses shall be administered by the CRC. Adverse rulings shall be appealed to the BZA. Conditional use shall be granted if the following conditions are met::
- The use will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - The use will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - The location and character, if developed according to the plans and information approved, will be in harmony with the proximate land uses, and consistent with the purposes of the district.
 - The use complies with any specific requirements as set forth in the municipal ordinances to obtain a special exception.
- 5.7.2 General to districts T2, T2O, T3, T4, T4O, T5L, T5
- Buildings in each transect district shall conform to the intensities and uses on Table 7 and Table 8.
- 5.7.3 Specific to districts T2, T3
- Accessory uses of restricted lodging or restricted office shall be permitted. See Table 7.
- 5.7.4 Specific to district T2O
- Accessory uses of limited lodging or limited office shall be permitted. See Table 7.
 - First story commercial uses shall be permitted.
 - Manufacturing uses for the preparation and packaging of agricultural products grown on the lot may be permitted within the first story.
 - Agricultural uses other than a rear yard garden (see Table 8) shall be located in the 4th lot layer, beginning 150 ft. min behind the principal frontage line of the lot.
- 5.7.5 Specific to districts T4, T4O, T5
- Accessory uses of limited lodging or limited office shall be permitted. See Table 7.
- 5.7.6 Specific to district T5
- First story commercial uses shall be permitted.

5.8 Parking and Density

- 5.8.1 Specific to districts T2, T3
- Buildable density on a lot shall be determined by the actual parking provided within the lot as applied to the uses permitted in Table 9.
 - T2 may not exceed one unit per ten acres.
- 5.8.2 Specific to district T2O
- Buildable density on a lot shall be determined by the sum of the actual parking calculated as that provided (1) along the public parking lane or within the swale corresponding to the lot principal frontage line (2) by purchase, lease, or use agreement from a civic parking reserve within the community unit, if available, as applied to the uses permitted on Table 9.
 - Retail spaces under 1,500 square feet are exempt from parking requirements.
- 5.8.3 Specific to districts T4, T5
- Buildable density on a lot shall be determined by the sum of the actual parking calculated as that provided (1) within the lot (2) along the public parking lane corresponding to the lot frontage, and (3) by purchase, lease, or use agreement from a civic parking reserve within the community unit, if available.

Article 5

Subdivision & Zoning

44

- b. The actual parking may be adjusted upward according to the occupancy rate of Table 10 to determine the effective parking. The occupancy rate is available for any uses within any pair of adjacent blocks.
- c. Based on the effective parking available, the density of the projected use may be determined according to Table 9.
- d. Within the overlay area of a transit oriented development (TOD) the parking minimum may be further reduced by 30%.
- e. Accessory units shall be exempt from parking requirements.
- f. Liner buildings less than 30 feet deep and no more than two stories shall be exempt from parking requirements.

5.9 Parking Location Standards

5.9.1 General to districts T2O, T3, T4, T5

- a. Parking shall be accessed by rear alleys or rear lanes, when such are available.
- b. Open parking areas shall be masked from the frontage by a building or streetscreen pursuant to Subsection 5.6.6.c.
- c. For buildings on b-grids, open parking areas may be allowed unmasked on the frontage by administrative waiver, except for corner lots within 100 feet of the a-grid. The City Manager or his designee must make the following written findings:
 - i. The waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The waiver is consistent with the Comprehensive Plan.
 - iii. The open parking area will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - iv. The open parking area will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - v. The location and character of the open parking area, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - vi. The location and character of the open parking area will not adversely affect the district by impeding walkability.

5.9.2 Specific to districts T2, T2O, T3, T4

- a. Open parking areas shall be located at the second and third lot layers, except that driveways, drop-offs and unpaved parking areas may be located at the first lot layer. (Table 15)
- b. Garages shall be located at the third layer except that side- or rear-entry types may be allowed in the second layer.

5.9.3 Specific to districts T2O, T3, T4

- a. Driveways at frontages shall be no wider than 10 feet in the first layer.

5.9.4 Specific to districts T4O, T5L, T5

- a. All parking lots, garages, and parking structures shall be located at the third layer. (Table 15)
- b. Vehicular entrances to parking lots, garages, and parking structures shall be no wider than 24 feet at the frontage.
- c. Parking structures on the a-grid shall have liner buildings lining the first story.

5.10 Landscape Standards

- 5.10.1 This section shall not apply to existing buildings in Old Town. It shall only apply to new communities in G1, G2, and G3.
- 5.10.2 General to districts T2, T3, T4, T5
- a. The spacing and placement of plants shall be adequate and appropriate for the typical size, shape and habit of the plant species at maturity.
 - b. Within the public frontages, the prescribed types of public planting and public lighting shall be as shown in Table 32 and Table 34. The spacing shall be as shown in Table 30. The spacing may be adjusted up to 20% by administrative waiver to accommodate specific site conditions or shopfronts. The City Manager or his designee must make the following written findings:
 - i. The administrative waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The waiver is consistent with the Comprehensive Plan.
 - iii. The public planting and public lighting will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - iv. The public planting and public lighting will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - v. The location and character of the public planting and public lighting, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - vi. Planned or existing site conditions, such as location of doors and windows, fire hydrants, traffic control signs and signals, street lights, trees, or other street furniture, prevent adherence to the standards in Table 30.
 - c. Proposed trees and understory trees shall be centered horizontally and minimally:
 - i. Two (2) feet from walkways, curbing, and other impervious pavements when planted in a tree well or continuous planter;
 - ii. Three (3) feet from walkways, curbing and other impervious pavements when planted in a continuous swale;
 - iii. Five (5) feet from street lights, underground utilities, utility meters and service lines, fences, walls and other ground level obstructions;
 - iv. Six (6) feet from porch eaves, and awnings and similar overhead obstructions associated with the ground level of buildings;
 - v. Eight (8) feet from balconies, verandas, building eaves and cornices, and similar overhead obstructions associated with the upper stories of buildings.
 - d. Ground vegetation or shrub plantings with spines, thorns or needles that may present hazards to pedestrians, bicyclists or vehicles are prohibited in the first two (2) feet of the first layer.
 - e. Artificial plants or artificial turf are prohibited, excluding active recreation sports fields that are typically subject to intense use and soil compaction which prohibits the establishment of turfgrass, and where paving or grass paving systems will not suffice given the area's purpose and level of use.
 - f. Buffers and screening elements shall be used to screen parking areas from public view, to screen service yards and other places that are unsightly.
- 5.10.3 Specific to districts T2, T3, T4
- a. The first layer may not be paved, with the exception of driveways and sidewalks as specified in section 5.9.2 and Section 5.9.3. (Table 15)

Article 5

Subdivision & Zoning

46

- b. Preservation of on-site existing trees and vegetation is encouraged and may be used to fulfill the landscape requirements.
 - i. Noxious or invasive plants species identified on the prohibited plant list shall be removed.
 - ii. Priority shall be given to preserving and protecting significant trees that provide screening, buffering, wildlife habitat and/or linkages to wildlife habitat.

5.10.4 Specific to district T3

- a. Two (2) trees shall be planted within the first layer. (Table 15)
 - i. Substitutions:
 - 1. One (1) tree may be substituted for two (2) understory trees;
 - 2. One (1) understory tree may be substituted for ten (10) Shrubs.
 - ii. Tree Preservation Credit:
 - 3. Trees may be substituted for an existing tree to be preserved provided that:
 - They are four (4) Inches DBH or greater;
 - Possess a healthy and full canopy;
 - + Has an unmolested CRZ;
 - + Has incurred no damage that would undermine it's long-term vitality and quality.

- b. Trees may be of single or multiple species as shown on Table 33.
- c. Trees shall be naturalistically clustered in conjunction with adjacent street trees.

5.10.5 Specific to district T4

- a. One (1) understory tree shall be planted within the first layer. (Table 15):
- b. Trees, if planted, should match the type of adjacent street trees on the public frontage, or as shown on Table 33.

5.10.6 Specific to districts T2O, T4O, T5L, T5

- a. Trees shall not be required in the first layer.
- b. The first layer may be paved to match the pavement of the public frontage.
- c. Landscape islands in interior parking lots shall only occur at the end of drive aisles. Islands should be the minimum size for healthy growth for the specific species of tree.
- d. Porous paving materials should be used in order to increase storm water infiltration on site.

5.10.7 Specific to special district SDB: See Subsection 6.1.5

5.11 Signage Standards

5.11.1 General Intent

The intent of regulating signs that are visible from the public frontage is to ensure proper dimensioning and placement with respect to existing or planned architectural features, to maintain or improve public safety, to maintain or improve the aesthetic character of the context in which they are located, and to provide legible information for pedestrians, not just drivers. No signs of any type shall be permitted within the City right-of-way.

5.11.2 Specific to Address Signs

- a. Address sign numerals applied to retail, office, residential, institutional, or industrial buildings shall be between three (3) and six (6) inches tall. Address sign numerals applied to individual dwelling units in apartment buildings shall be at least three (3) inches tall.

- b. Address signs shall be easily visible by using colors or materials that contrast with their background.
- c. Address signs shall be constructed of durable materials.
- d. The address sign shall be attached to the front of the building in proximity to the principal entrance or at a mailbox.

5.11.3 Specific to Awning Signs

- a. The following variations of awnings, with or without signbands, are permitted:
 - i. Fixed or retractable awnings
 - ii. Shed awnings
 - iii. Dome awnings
- b. No portion of an awning shall be lower than eight (8) feet clearance.
- c. Awnings shall be a minimum of 4 feet in depth.
- d. Awnings shall not extend beyond the width of the building or tenant space, nor encroach above the roof line or the story above.
- e. The height of the valance shall not exceed twelve (12) inches.
- f. Awning signs shall contain only the business name, logo, and/or street address.
- g. Letters, numbers, and graphics shall cover no more than seventy percent (70%) of the awning panel or valance area.
- h. Awning signs shall not be internally illuminated or backlit.

5.11.4 Specific to Band Signs

- a. All businesses are permitted one (1) band sign on each first story facade.
- b. Band signs shall include only letters, background, lighting, and an optional logo. Information shall consist only of the name and/or logo of the business. Band signs shall not list products, sales, or other promotional messages, or contact information.
- c. The following band sign construction types are permitted:
 - i. Cut-out letters. Letters shall be individually attached to the wall or on a separate background panel, and shall be externally illuminated.
 - ii. Flat panel. Letters shall be printed or etched on same surface as the background, which is then affixed to the wall and externally illuminated.
 - iii. Channel letters. Each letter shall have its own internal lighting element, individually attached to the wall or onto a separate background panel. The letter shall be translucent, or solid to create a backlit halo effect.
- d. Height and width shall be measured using smallest rectangle that fully encompasses the entire extent of letters, logo and background.
- e. Band signs shall not be wider than 90% of the width of the building facade or tenant space.
- f. Band signs shall not project vertically above the roof line.
- g. Band signs may be illuminated from dusk to dawn. External lights shall be shielded from direct view to reduce glare.
- h. Electrical raceways, conduits and wiring shall not be exposed. Internal lighting elements shall be contained completely within the sign assembly or inside the wall.
- i. Band signs should be placed where the architectural features suggest the best placement for signage. They should be vertically aligned with the center of an architectural feature such as a storefront window, entry portal, or width of a bay or overall retail space. They shall not interrupt or obscure these features or cause visual disharmony.
- j. Where multiple band signs are present on a single building, signage shall be coordinated in terms of scale, placement, colors and materials.

Article 5

Subdivision & Zoning

48

5.11.5 Specific to Blade Signs

- a. Blade signs may be double-sided.
- b. Blade signs shall be permitted only for businesses that have a principal entrance on the first story.
- c. Businesses shall be permitted one (1) blade sign where its principal frontage line is no more than five (5) feet from the facade. Businesses that have a secondary frontage line that is no more than two (2) feet from the facade shall be permitted one (1) additional blade sign on that facade.
- d. Blade signs may encroach into the public frontage up to four (4) feet and shall clear the sidewalk by at least eight (8) feet.
- e. Blade signs shall not encroach above the roof line nor above the bottom of the second story window.
- f. Text and graphics on the blade sign shall be limited to the name and/or logo of the business. Slogans, address labels, operating hours and contact information shall not be permitted.
- g. Mounting hardware, such as supports and brackets, may be simple and unobtrusive or highly decorative, but shall complement the design of the sign, the building, or both.
- h. For buildings with multiple signs, mounting hardware or sign shapes, sizes and colors shall be coordinated.

5.11.6 Specific to Marquees

- a. Marquees shall be located only above the principal entrance of a building.
- b. No marquee shall be wider than the entrance it serves, plus two (2) feet on each side thereof.
- c. No portion of a marquee shall be lower than ten (10) feet clearance.
- d. No marquee shall extend closer to the curb than three (3) feet.
- e. All marquees, including anchors, bolts, supporting rods and braces, shall be constructed of non-combustible materials and shall be designed by a structural engineer and approved by the Building Inspector.
- f. Marquee components and materials may vary. Anchors, bolts, and supporting rods should be limited to the interior of the marquee.
- g. Message boards shall be permitted as part of marquees.
- h. A band sign shall be permitted above a marquee.

5.11.7 Specific to Monument Signs

- a. Monument signs may be double-sided.
- b. Only one monument sign shall be permitted for each mixed-use frontage. Such sign may contain the names of all tenant(s) or occupant(s) of the building.
- c. Monument signs shall not exceed six (6) feet in height and four (4) feet in width.
- d. Monument signs may encroach 80% of the first layer.
- e. Text and graphics on the monument sign shall be limited to the name and/or logo of the business. Slogans, address labels, operating hours and contact information shall not be permitted.

5.11.8 Specific to Nameplates

- a. Nameplates shall consist of either a panel or individual letters applied to a building wall within ten (10) feet of an entrance to the building.
- b. One nameplate shall be permitted per address.
- c. Nameplates shall not exceed three (3) square feet.
- d. Nameplates shall be constructed of durable materials.

5.11.9 Specific to Outdoor Display Cases

- a. Each outdoor display case shall not exceed six (6) square feet.
- b. Outdoor display cases may be externally or internally illuminated.
- c. Theaters may be permitted larger outdoor display cases. Percentage of area increase shall be limited to 100%.
- d. Outdoor display cases shall not be attached to shopfront windows.

5.11.10 Shingle Signs

- a. Shingle signs shall comport with the standards for blade signs except 5.11.5.d and 5.11.5.f.
- b. Businesses shall be permitted one (1) shingle sign where its principal frontage line is no more than five (5) feet from the facade. Businesses that have a secondary frontage line that is no more than two (2) feet from the facade shall be permitted one (1) additional shingle sign on that facade.
- c. Shingle signs may encroach into the public frontage up to two (2) feet and shall clear the sidewalk by at least seven (7) feet.
- d. Text and graphics on the shingle sign shall be limited to the name, logo, and suite number of the business. Slogans, full street address labels, operating hours and contact information are not permitted.

5.11.11 Specific to Sidewalk Signs

- a. Sidewalk signs shall consist of freestanding, double-sided temporary signs placed at the entrance to a business in a primarily pedestrian environment.
- b. Sidewalk signs shall be removed at the close of business each day.
- c. One (1) sidewalk sign shall be permitted for each business.
- d. Sidewalk signs shall not exceed 42 inches in height or 26 inches in width.
- e. Sidewalk signs shall be moved inside during high winds or other weather conditions that might pose a hazard to public safety.

5.11.12 Specific to Window Signs

- a. Only the following window sign types shall be permitted:
 - i. Vinyl applique letters applied to the window. Appliques shall consist of individual letters or graphics with no visible background.
 - ii. Letters painted directly on the window.
 - iii. Hanging signs that hang from the ceiling behind the window.
 - iv. Neon signs. Flashing neon is not permitted.
 - v. Door signs applied to or hanging inside the glass portion of an entrance doorway.
- b. Window signs shall not interfere with the primary use of windows, which is to enable passersby and public safety personnel to see through windows into premises and view product displays.
- c. Window signs shall be no larger than 25% of the total area of the window onto which they are applied. Sign area shall be measured using smallest rectangle that fully encompasses the entire extent of letters, logo and background.
- d. Window signs may list services and/or products sold on the premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages not exceed the limit provided above.
- e. Letters on window signs shall be no taller than eight (8) inches.

5.11.13 Specific to Yard Signs

- a. One single- or double-post yard sign for each business may be permitted by administrative waiver, provided it is set back at least six (6) feet from the frontage line, does

Article 5

Subdivision & Zoning

50

not exceed six (6) square feet excluding posts, and does not exceed six (6) feet high including posts, measured from the yard at the post location.

5.11.14 Specific to Temporary Signs and Banners

- a. Temporary signs of all types may be approved by administrative waiver for a 30-day period only. The City Manager or his designee must make the following written findings:
 - i. The administrative waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The waiver is consistent with the Comprehensive Plan.
 - iii. The temporary sign will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - iv. The temporary sign will not substantially injure the value of adjoining property; or that the use is a public necessity.

5.11.15 Ranson Municipal Code 19-15(j) "Removal of Certain Signs" shall be applicable in this Chapter.

5.12 Architectural Standards

5.12.1 General to Districts T2O, T4, T4O, T5L and T5 façades

This section does not apply to single-family and two-family edgeyard and sideyard residential units.

- a. Glazing above the first story façade shall not exceed 30% of the total building façade wall area, with each façade being calculated independently.
- b. The shopfront private frontage shall be no less than 50% glazing.
- c. All glass shall be clear and free of color, except as required by the West Virginia Alcohol Beverage Control Administration.
- d. Pitched roofs shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12.
- e. Low pitch or flat roofs shall be enclosed by a parapet that is as high as necessary to conceal mechanical equipment.
- f. Dormers shall be roofed with a symmetrical gable or a shed configuration. They shall be no more than 2 windows wide and placed no less than 2 feet from an end gable or party wall.

5.13 Fencing Standards

5.13.1 General to Districts T2O, T3, T4, T4O, T5L and T5

- a. Hedges in frontage line fencing shall be evergreen.
- b. Wood frontage fences shall be painted or stained.
- c. No single frontage fence horizontal panel shall exceed 42" in height along a frontage lot line. See Table 21. Fence Panels.
- d. Private lot line fences shall be between 60" and 72" in height. See Table 20. Fence Locations
- e. Frontage fences may occur at the lot line, or up to 18" behind the lot line to permit landscaping.
- f. When erected on a lot line, all of the fence and any of its supporting structures shall be contained within the lot.
- g. Fences along private lot lines, or alley lot lines may be chain link, but in no case shall exceed 72" in height.
- h. The supporting members and posts shall be on the inside, and the smooth or flat faces

Article 5

Subdivision & Zoning

51

on the outside. If two faces are used, each face shall be of the same type and finish. Board on board fences is considered equal treatment.

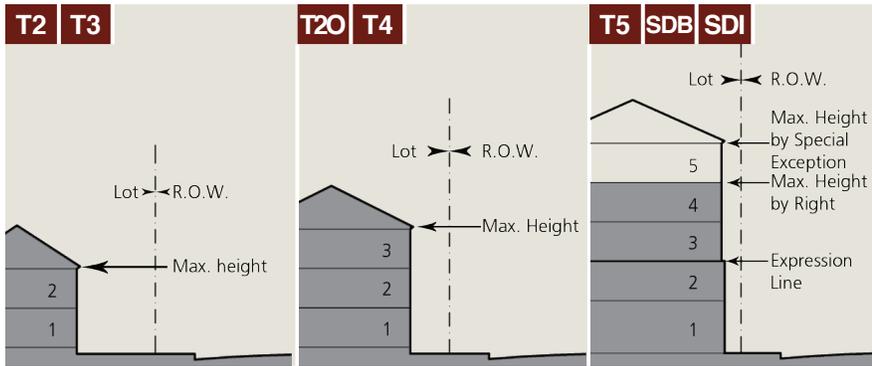
- i. Barbed wire, razor wire and electrically charged fences are not permitted.
- 5.13.2 Specific to District T3
- a. Frontage fences in T3 shall be picket, post and hedge, ranch, or hedgerows. See Table 19. Fence Types.
 - b. Frontage fences shall be 36" to 42" in height. Secondary frontage fences may be 60" high beginning at the primary setback.
- 5.13.3 Specific to districts T2O, T4
- a. Frontage fences shall be picket, post and hedge, iron, stone, brick, or hedgerows. See Table 19. Fence Types.
 - b. Frontage fences shall be 36" to 48" in height. Secondary frontage fences may be 60" high beginning at the primary setback.
- 5.13.4 Specific to District T5
- a. Frontage fences in T5 shall be iron, iron and stone, iron and brick, brick, stucco or stone. See Table 19. Fence Types.
 - b. Frontage fences shall be 48" to 60" in height

Article 5

Subdivision & Zoning

TABLE 5. BUILDING HEIGHT.

52



Expression lines shall occur on buildings taller than three stories as shown.

TABLE 6. PRIVATE FRONTAGES

		SECTION		PLAN	
FIRST LOT LAYER REGULATIONS		PRIVATE FRONTAGE	♦♦ PUBLIC FRONTAGE	PRIVATE FRONTAGE	♦♦ PUBLIC FRONTAGE
COMMON LAWN					
Transect District	T2, T2O, T3, T4, SDB				
Permitted Elements					
Encroachments into setback	Porch no less than 6 feet deep				
Surface Treatment	Grass, groundcover, continuing without interruption, except sidewalks or driveways.				
Special Requirements					
FENCED LAWN					
Transect District	T2O, T3, T4				
Permitted Elements	Fences, hedges and walls				
Encroachments into setback	80% of setback				
Surface Treatment	Grass, groundcover				
Special Requirements	Fences, hedges and walls shall be along frontage lines or parallel with the facade of the principal building				
TERRACE					
Transect District	T2O, T4, T4O, T5L, T5, SDB				
Permitted Elements	May be combined with stoop				
Encroachments into setback	Terraces may encroach 100% of setback, no less than 6 ft. Terraces shall be raised a minimum of 12" from average sidewalk grade.				
Surface Treatment	Paved, terraces may be landscaped				
Special Requirements	Ramps for wheelchair access may be located within first layer				
FORE COURT					
Transect District	T4O, T5, SDB				
Permitted Elements	May be combined with terrace, stoop, shopfront, or gallery.				
Encroachments into setback	May recess from the frontage line a maximum of 20 feet for pedestrian entries or a maximum of 30 feet for vehicular access.				
Surface Treatment	Paved in coordination with the public frontage or with pervious materials				
Special Requirements	Shall provide access to the main building entrance. Driveways within forecourts are limited to 20 feet in width. Portions of the driveway in the public frontage shall be limited to 12 feet in width and shall be paved in coordination with the adjacent public frontage				

Article 5

Subdivision & Zoning

PRIVATE FRONTAGES CONTINUED

54

		SECTION		PLAN	
		PRIVATE FRONTAGE	PUBLIC FRONTAGE	PRIVATE FRONTAGE	PUBLIC FRONTAGE
FIRST LOT LAYER REGULATIONS					
STOOP					
Transect District	T2O, T4, T4O, T5L, T5				
Permitted Elements	Hedges and metal fences.				
Encroachments into setback	100% of the setback.				
Surface Treatment	Paved in coordination with the public frontage.				
Special Requirements	May be recessed into the building facade where a front setback is less than 6 feet				
COMMON ENTRY					
Transect District	T4, T4O, T5L, T5, SDB				
Permitted Elements	Planter may line the facade.				
Encroachments into setback	Planter may encroach up to 100%.				
Surface Treatment	Any setback area not within the planter shall be paved at grade.				
Special Requirements	Planter may extend no more than 3' from the facade at grade. The first story of the facade shall be no less than 15% glazed in clear glass				
SHOPFRONT					
Transect District	T2O, T4, T4O, T5L, T5, SDB				
Permitted Elements	Awnings				
Encroachments into setback	Awnings may encroach to within two feet of the curb and must project horizontally from the facade a minimum of 6 feet. Display windows may encroach up to 2 feet				
Surface Treatment	Paved				
Special Requirements	Shall be glazed with clear glass for no less than 50% of the ground floor at frontages, calculated as a percentage of each facade individually.				
GALLERY					
Transect District	T2O, T4, T4O, T5L, T5, SDB				
Permitted Elements	May be combined with shopfront or common entry				
Encroachments into setback	May encroach to within 2 feet of the curb.				
Surface Treatment	Paved in coordination with the public frontage				
Special Requirements	Shall provide a minimum vertical clearance of 10 feet and project horizontally from the facade a minimum of 10 feet				
PRIVATE ARCADE					
Transect District	T5L, T5, SDB				
Permitted Elements	May be combined with shopfront or common entry				
Encroachments into setback	100% of the setback.				
Surface Treatment	Paved in coordination with the public frontage				
Special Requirements	Shall provide a minimum vertical clearance of 10 feet and project horizontally from the facade a minimum of 10 feet				

Article 5

Subdivision & Zoning

TABLE 8. BUILDING USE

56

	T2	T2	T3	T4	T4	T5	T5	SD	SD
Intensity	R	O	R	L	O	L	O	B	I
a. RESIDENTIAL									
Mixed use building					■	■	■	■	
Multifamily dwelling				■	■	■	■		
Live-work unit	■	■	■	■	■	■	■		
Duplex	■	■	■	■	■	■	■		
Townhouse	■	■	■	■	■	■	■		
Single family residential	■	■	■	■	■	■	■		
Senior housing	■	■	■	■	■	■	■		
Accessory Unit	■	■	■	■	■	■	■		
b. LODGING									
Hotel (no room limit)					□	■	■	□	□
Inn (up to 12 rooms)	□	□	□	□	■	■	■		
Bed & Breakfast (up to 6 rooms)	■	■	■	■	■	■	■		
School Dormitory					□	□	■	□	
c. OFFICE									
Office building					■	■	■	□	□
Mixed use building					■	■	■		
Live-work unit	■	■	■	■	■	■	■	□	□
d. RETAIL									
Open-Market Building	■				■	■	■	■	■
Mixed use building					■	■	■	■	
Retail Building	■				■	■	■	■	□
Display Gallery				■	■	■	■	□	□
Restaurant	■	■	■	■	■	■	■	□	□
Kiosk					■	■	■	□	□
Push Cart	■				■	■	■	□	□
Video Lottery ¹					□		□		
Adult Entertainment ²									
e. INSTITUTIONAL									
Convention Center							□	■	■
Conference Center					□		■	■	■
Exhibition Center							□	■	■
Live Theater					■	■	■	■	■
Movie Theater					■	■	■	■	■
Museum					■	■	■	■	■
Outdoor Auditorium			□	■	■	■	■	■	■
Sports Stadium							□	■	■
Religious Assembly	■	■	■	■	■	■	■	■	■
f. AGRICULTURE									
Grain Storage	■	■	■					□	□
Livestock Pen	■		■					□	□
Garden Supply		■			■	■	■	□	□
Greenhouse	■	■	■	□	■			□	□
Stable	■	■	■	□				□	□
Kennel	■	■	■	□	■	□	■	□	□
Family Farm	■	■							
Employment Farm	■	■							
Rear Yard Garden	■	■	■	■					
Honey Bees	■	■							
Livestock	■								
Poultry	■	■	□	□					

	T2	T2	T3	T4	T4	T5	T5	SD	SD
Intensity	R	O	R	L	O	L	O	B	I
g. AUTOMOTIVE									
Gasoline		□			■	□	■	■	■
Automobile Service					■	□	□	□	■
Automobile Sales					■	□	□	■	■
Truck Maintenance	■							□	■
Drive-Through Facility					■	□	■	■	■
h. CIVIL SUPPORT									
Cemetery	■	■	■	□			□		■
Funeral Home					■	■	■	■	■
Hospital						□	□	■	■
Medical Clinic					■	■	■	■	■
Animal Hospital		■			■	■	■	□	■
i. EDUCATION									
College		□			□	□	□	■	■
High School		□			□	□	□	■	■
Trade School						□	□	■	■
Elementary School		■	□	■	■	■	■	□	■
Childcare Center		■	■	■	■	■	■	■	■
j. INDUSTRIAL									
Heavy Industrial Facility								□	□
Light Industrial Facility		□			□	□	□	■	■
Truck Depot								□	■
Laboratory Facility		□			□	□	□	■	■
Warehouse		□			□	□	□	■	■
Produce Storage	■	■						□	■
Mini-Storage								■	■
Heavy Manufacturing								□	□
Light Manufacturing		■		□	■	■	■	■	■

Permitted ■
Conditional Use Pursuant to 5.7.1 □

¹ Video lotteries may be permitted by Conditional Use as an accessory use to a restaurant or hotel in T-4O or T5 upon the conditions stated in Chapter 19-8(c) (3).

² Adult uses only permitted under certain conditions in HC and RC pursuant to Ranson Municipal Code 14-70 and 19-7

Article 5

Subdivision & Zoning

TABLE 9. PARKING CALCULATIONS

The gross minimum number of parking spaces listed below shall be multiplied by the "occupancy rate" as found in Table 10, for each use for the weekday night, daytime and evening periods respectively, and weekend night, daytime and evening periods respectively. The gross minimum numbers of parking spaces for each of the uses referred to for each time period shall be added to produce the aggregate gross minimum numbers of parking spaces for each time period.

	T2	T20	T3	T4	T5
RESIDENTIAL *	2.0 / dwelling	1.5 / dwelling	2.0 / dwelling	1.5 / dwelling	1.0 / dwelling
LODGING	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom
OFFICE	n/a	n/a	2 spaces for 600 square feet	3.0 / 1,000 s.f.	2.0 / 1,500 s.f.
RETAIL	n/a	n/a	4.0 / 1,000 s.f.	3.0 / 1,000 s.f.	2.0 / 1,000 s.f.
CIVIC	n/a	1 / 5 seats assembly use Parking may be provided by ownership or lease offsite within 1,000 feet.	1 / 5 seats assembly use Parking may be provided by ownership or lease offsite within 1,000 feet.	1 / 5 seats assembly use 1 / 1,000 s.f. of exhibition or indoor recreation area. Parking requirement may be reduced according to the Parking Occupancy Rate Table 10. Parking ratio may be reduced within 1/4 mile radius of a Transit Corridor by thirty percent (30%). Parking may be provided by ownership or lease offsite within 1,000 feet.	1 / 5 seats assembly use 1 / 1,000 s.f. of exhibition or indoor recreation area. Parking requirement may be reduced according to the Parking Occupancy Rate Table 10. Parking ratio may be reduced within 1/4 mile radius of a Transit Corridor by thirty percent (30%). Parking may be provided by ownership or lease offsite within 1,000 feet.
AGRICULTURE	1.0 / employee	1.0 / employee			
OTHER	Determined by Chapter 19 Sec. 19-12.				

* Senior housing or co-housing requirements may be reduced by 50%.

Article 5

Subdivision & Zoning

TABLE 10. PARKING OCCUPANCY RATE.

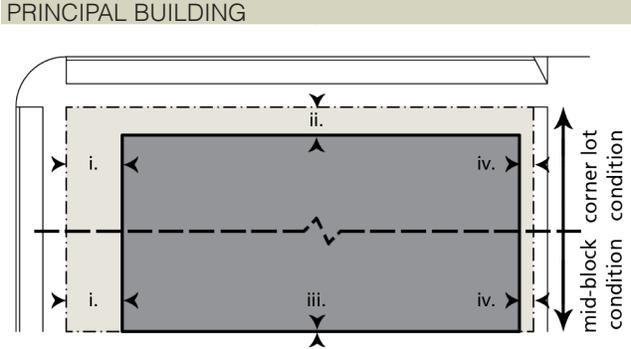
58

USES	M - F	M - F	M - F	SAT & SUN	SAT & SUN	SAT & SUN
	8 AM - 6 PM	6 PM - 12 AM	12 AM - 8 AM	8 AM - 6 PM	6 PM - 12 AM	12 AM - 8 AM
RESIDENTIAL	60%	100%	100%	80%	100%	100%
LODGING	70%	100%	100%	70%	100%	100%
OFFICE	100%	20%	5%	5%	5%	5%
RETAIL	90%	80%	5%	100%	70%	5%
RESTAURANT	70%	100%	100%	70%	100%	100%
MOVIE THEATER	40%	80%	10%	80%	100%	10%
ENTERTAINMENT	40%	100%	10%	80%	100%	50%
CONVERENCE / CONVENTIONS	100%	100%	5%	100%	100%	5%
CIVIC (NON-CHURCH)	100%	20%	5%	10%	10%	5%
CIVIC (CHURCH)	20%	20%	5%	100%	50%	5%

Planning Staff shall provide a spreadsheet that will perform calculations for specific applications based on the above occupancy rates.

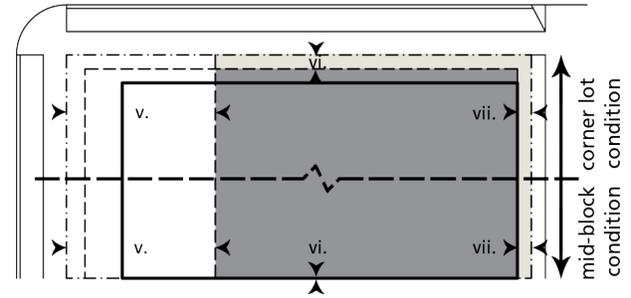
TABLE 11. T20 STANDARDS

A. BUILDING PLACEMENT



- i. Front Setback (Principal) 18 ft. max.
- ii. Front Setback (Secondary) 10 ft. max.
- iii. Side Setback 0 ft. or 6 ft. min. total
- iv. Rear Setback 3 ft. min.

OUTBUILDING(S)



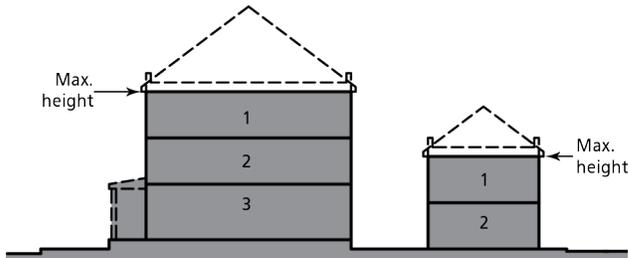
- v. Front Setback (Principal) 20 ft. min. + bldg. setback
- vi. Side Setback 0 ft. or 3 ft. at corner
- vii. Rear Setback 3 ft. min.

ENCROACHMENTS

i. Setback Encroachments	
Open Porch	80% max.
Balcony and/or Bay Window	80% max.
Stoop, Lightwell or Terrace	80% max.
ii. Sidewalk Encroachments	
Awning or Gallery	80% max.
iii. Encroachment Depths	
Open Porch	10 ft. max.
Balcony and/or Bay Window	6 ft. max.
Stoop, Lightwell or Terrace	6 ft. max.
Gallery	n/a
Awning	n/a

B. BUILDING FORM

HEIGHT



PRINCIPAL BUILDING

Stories	3
To Eave / Parapet	48 ft. max..

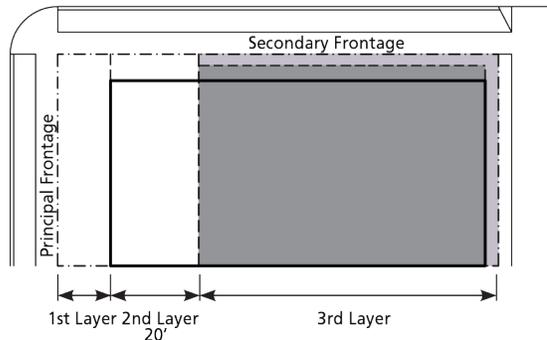
OUTBUILDING BUILDING

Stories	2
To Eave / Parapet	35 ft. max.*

MASS

Lot Width	40 ft. min., 96 ft. max.
Lot Coverage	50% max.
Facade Buildout at Setback	60% min.

PARKING AND STORAGE LOCATION



PARKING

1st layer (see Table 16)	not permitted
2nd layer (see Table 16)	side or rear entry permitted
3rd layer (see Table 16)	permitted
4th layer (see Table 16)	permitted
Trash & Storage ** Location	
1st layer (see Table 16)	not permitted
2nd layer (see Table 16)	not permitted
3rd layer (see Table 16)	permitted
4th layer (see Table 16)	permitted

* Agricultural buildings may be 48 ft. max. in height.

** Storage includes boats and recreational vehicles.

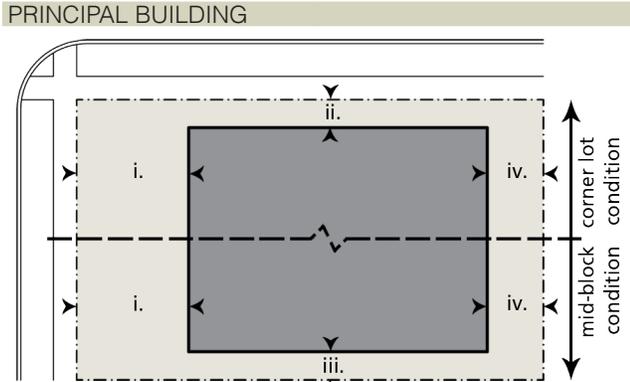
Article 5

Subdivision & Zoning

60

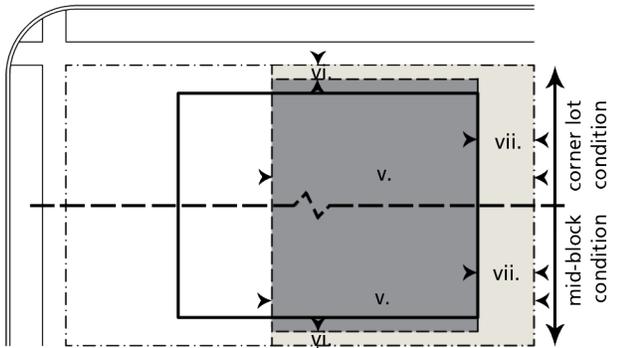
TABLE 12. T3 STANDARDS

A. BUILDING PLACEMENT



- i. Front Setback (Principal) 20 ft. min., 30 ft. max.
- ii. Front Setback (Secondary) 2 ft. min. 12 ft. max.
- iii. Side Setback 0 ft. for duplex or 8 ft. min.
- iv. Rear Setback 24 ft. min.

OUTBUILDING



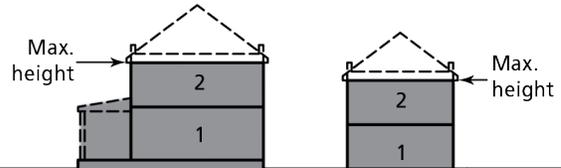
- v. Front Setback (Principal) 20 ft. min. + bldg. setback
- vi. Side Setback 3 ft. or 6 ft. at corner
- vii. Rear Setback 3 ft. min.

ENCROACHMENTS

i. Setback Encroachments	
Open Porch	50% max.
Balcony and/or Bay Window	25% max.
Stoop, Lightwell or Terrace	n/a
ii. Sidewalk Encroachments	
Awning or Gallery	n/a
iii. Encroachment Depths	
Open Porch	10 ft. max.
Balcony and/or Bay Window	6 ft. max.
Stoop, Lightwell or Terrace	n/a

B. BUILDING FORM

HEIGHT



PRINCIPAL BUILDING

Stories	2
To Eave / Parapet	35 ft. max.

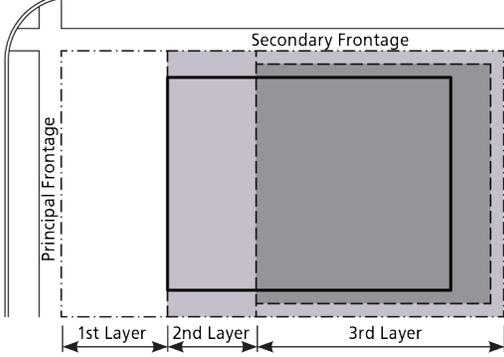
OUTBUILDING BUILDING

Stories	2
To Eave / Parapet	35 ft. max.

MASS

Lot Width	50 ft. min., 150 ft. max.
Lot Coverage	50% max.
Facade Buildout at Setback	n/a

PARKING AND STORAGE LOCATION



PARKING

1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	side or rear entry permitted
3rd layer (see Table 15)	permitted

TRASH & STORAGE * LOCATION

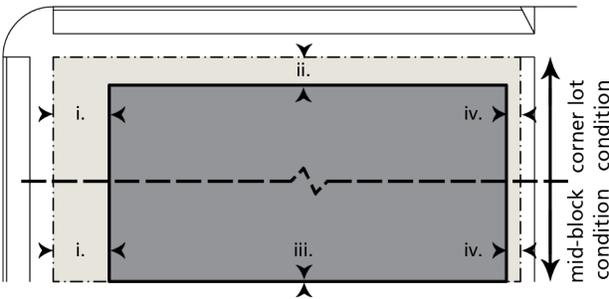
1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

* Storage includes boats and recreational vehicles.

TABLE 13. T4 / T40 STANDARDS

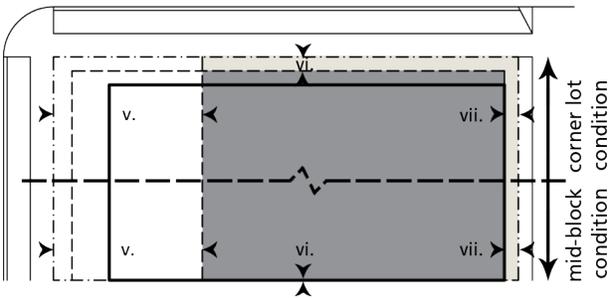
A. BUILDING PLACEMENT

PRINCIPAL BUILDING



- i. Front Setback (Principal) 18 ft. max.
- ii. Front Setback (Secondary) 10 ft. max.
- iii. Side Setback 0 ft. or 6 ft. min. total
- iv. Rear Setback 3 ft. min.

OUTBUILDING



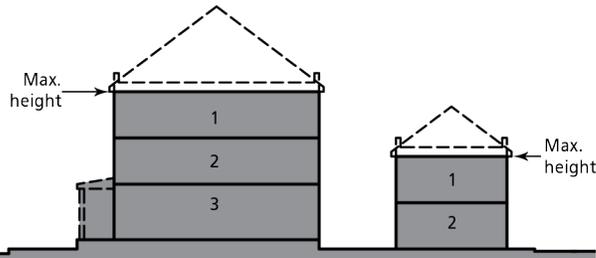
- v. Front Setback (Principal) 40 ft. max. from rear property line
- vi. Side Setback 0 ft. or 3 ft. at corner
- vii. Rear Setback 3 ft. min.

ENCROACHMENTS

i. Setback Encroachments	
Open Porch	80% max.
Balcony and/or Bay Window	80% max.
Stoop, Lightwell or Terrace	80% max.
ii. Sidewalk Encroachments	
Awning or Gallery	80% max.
iii. Encroachment Depths	
Open Porch	10 ft. max.
Balcony and/or Bay Window	6 ft. max.
Stoop, Lightwell or Terrace	6 ft. max.
Gallery	within 2 ft. of curb
Awning	within 2 ft. of curb

B. BUILDING FORM

HEIGHT



PRINCIPAL BUILDING

Stories	3
To Eave / Parapet	48 ft. max., 60 ft. max. T40

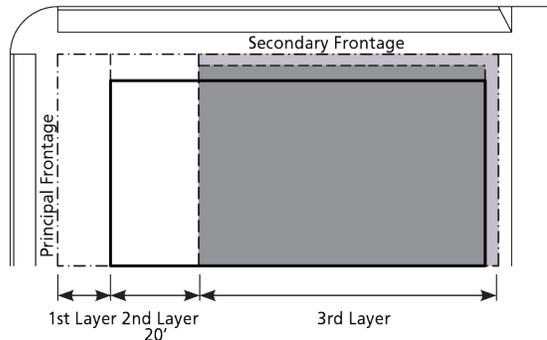
OUTBUILDING BUILDING

Stories	2
To Eave / Parapet	35 ft. max.

MASS

Lot Width	20* ft. min., 96 ft. max.
Lot Coverage	70% max.
Facade Buildout at Setback	60% min.

PARKING AND STORAGE LOCATION



PARKING

1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

TRASH & STORAGE ** LOCATION

1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

* 16ft. minimum width is permitted if on site parking is provided.

** Storage includes boats and recreational vehicles.

Article 5

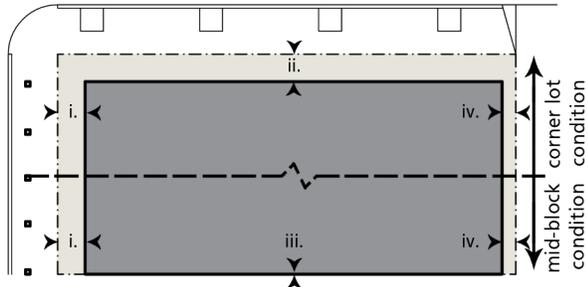
Subdivision & Zoning

62

TABLE 14. T5L / T5 STANDARDS

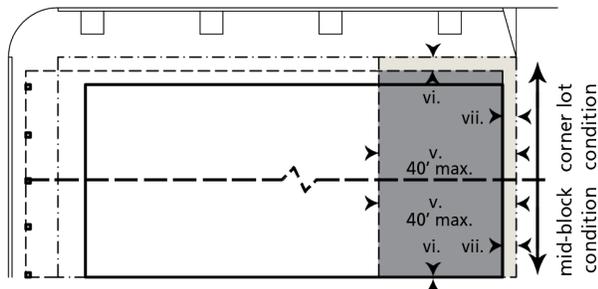
A. BUILDING PLACEMENT

PRINCIPAL BUILDING



- i. Front Setback (Principal) 12 ft. max.
- ii. Front Setback (Secondary) 12 ft. max.
- iii. Side Setback 6 ft. max.
- iv. Rear Setback 3 ft. min.

OUTBUILDING



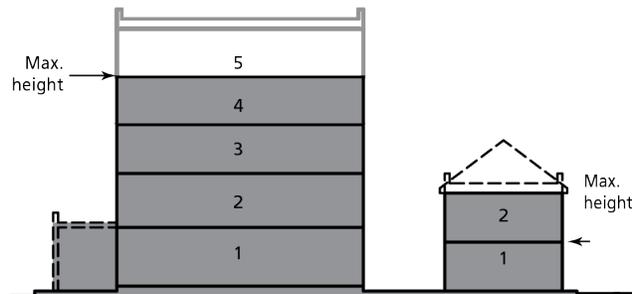
- v. Front Setback (Principal) 40 ft. max. from rear property line
- vi. Side Setback 0 ft. or 3 ft. at corner
- vii. Rear Setback 3 ft. min.

ENCROACHMENTS

i. Setback Encroachments	
Open Porch	100% max.
Balcony and/or Bay Window	100% max.
Stoop, Lightwell or Terrace	100% max.
ii. Sidewalk Encroachments	
Awning or Gallery	100% max.
iii. Encroachment Depths	
Open Porch	10 ft. max.
Balcony and/or Bay Window	6 ft. max.
Stoop, Lightwell or Terrace	6 ft. max.
Gallery	within 2 ft. of curb
Awning	within 2 ft. of curb

B. BUILDING FORM

HEIGHT



PRINCIPAL BUILDING

Stories	4 max., 5 by special exception
To Eave / Parapet	80 ft. max., 90 ft. by special exception

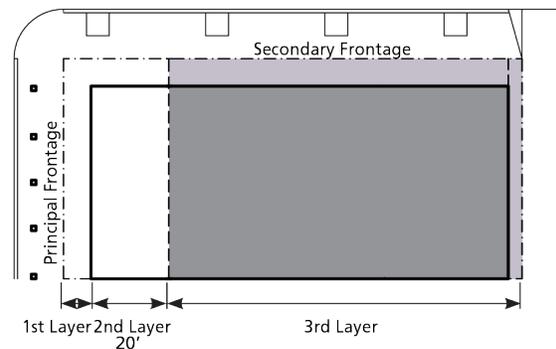
OUTBUILDING BUILDING

Stories	2
To Eave / Parapet	35 ft. max.

MASS

Lot Width	20* ft. min., 150 ft. max.
Lot Coverage	90% max.
Facade Buildout at Setback	60% min. – 100% max.

PARKING AND STORAGE LOCATION



PARKING

1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

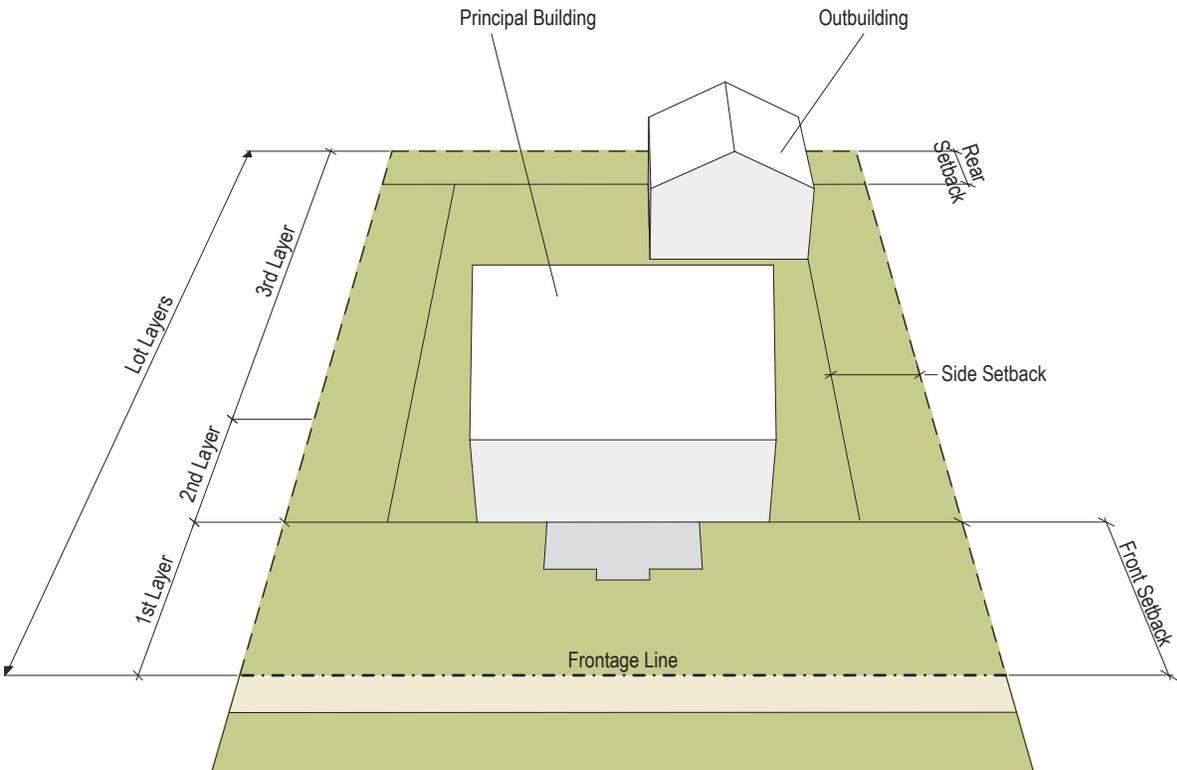
TRASH & STORAGE ** LOCATION

1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

* 16 ft. minimum width is permitted if on site parking is provided.

** Storage includes boats and recreational vehicles.

TABLE 15. LOT STRUCTURE



BUILDINGS	
Principal Building	The main building on a Lot.
Outbuilding	A secondary building usually located toward the rear of the same Lot as a Principal Building such as a garage, carport, or workshop and may include an Accessory Unit.
SETBACKS	
Primary Front Setback	The area of a Lot measured from the Primary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Secondary Front Setback	Corner Lots have more than one Frontage Line. One Frontage Line is designated the Primary Frontage Line and all remaining Frontage Lines are designated as Secondary Frontage Lines. The Secondary Front Setback is the area of a Lot measured from the Secondary Frontage Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Side Setback	The area of a Lot measured from any side Lot Line to the nearest permissible location of a Principal Building, excluding Encroachments.
Rear Setback	The area of a Lot measured from a rear Lot Line to the nearest permissible location of a Principal Building or Outbuilding, excluding Encroachments.
LOT LAYERS	
First Layer	The area of a Lot from the the Frontage Line to the Facade of the Principal Building.
Second Layer	The area of a Lot set behind the 1st Layer to a depth of 20 feet.
Third Layer	The area of a Lot set behind the 2nd Layer and extending to the rear Lot Line.
LOT SIZE	
Lot Width	The length of the Principal Frontage Line of a Lot.

Article 5

Subdivision & Zoning

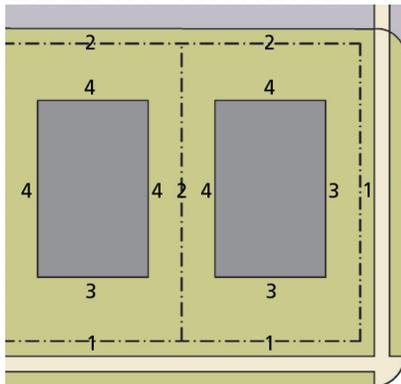
64

TABLE 16. T20 LOT STRUCTURE



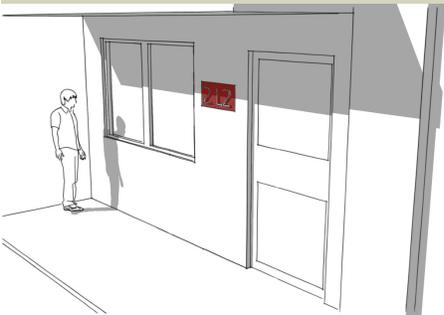
BUILDINGS	
Principal Building	The main building on a Lot.
Outbuildings	A secondary building usually located toward the rear of the same Lot as a Principal Building such as a garage, carport, or workshop and may include an Accessory Unit. Lots exceeding 150' in depth may have a second outbuilding.
LOT LAYERS	
First Layer	The area of a Lot from the the Frontage Line to the Facade of the Principal Building.
Second Layer	The area of a Lot set behind the 1st Layer to a depth of 20 feet.
Third Layer	The area of a Lot set behind the 2nd Layer and extending to the rear Lot Line or to a depth of 150'.
Fourth Layer	Lots in excess of 150' deep have a fourth layer. This area is usually used for agriculture, and agricultural uses may be limited to this layer. See Subsection 5.7.4.
LOT SIZE	
Lot Depth	Flag lots are permitted in T20. Standard lot depts may be interspersed with lots in excess of 150' that shall be primarily used for agricultural purposes.

TABLE 17. FRONTAGES & ELEVATIONS



- 1 - Frontage Line
- 2 - Lot Line
- 3 - Facades
- 4 - Elevations

TABLE 18. SIGN TYPES

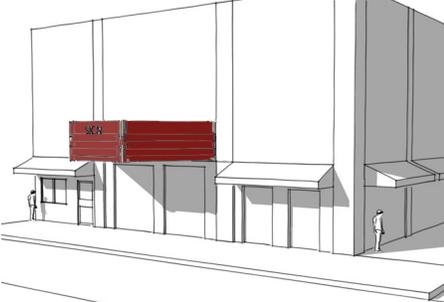
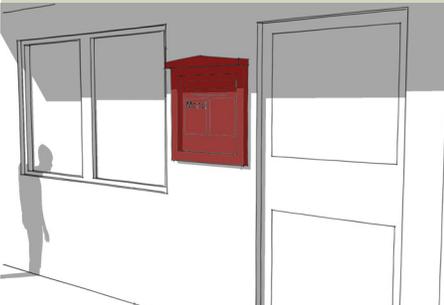
	T20	T3	T4	T4O	T5L	T5	SPECIFICATIONS	
Address Sign 							a. Quantity (max) b. Area c. Width d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height	1 per address max 2 sf max 24 in max 12 in max 3 in min 4.5 ft n/a max 6"
Awning and Sign 							a. Quantity (max) b. Area c. Width d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height i. Valance Height j. Distance from Curb may be used with Shingle Sign	1 per window n/a max equals width of Facade n/a min 4 ft, see Sec 5.12.7e min 8 ft, 7 ft by Warrant n/a min 5 in, max 10 in max 12 in min. 2 ft.
Band Sign 							a. Quantity (max) b. Area (max) c. Width d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height	1 (2 for corner buildings) 3 sf per linear ft Facade max 90% width of Facade max 3 ft max 7 in min 7 ft n/a max 18 in
Blade Sign 							a. Quantity b. Area (max) c. Width d. Height f. Depth / Projection g. Clearance h. Apex i. Letter Height	1 per Facade, 2 max 4 sf T2,T3,T4; 6 sf T4O, T5 max 4 ft max 4 ft max 4 ft min 8 ft n/a max 8 in

Article 5

Subdivision & Zoning

SIGN TYPES CONTINUED

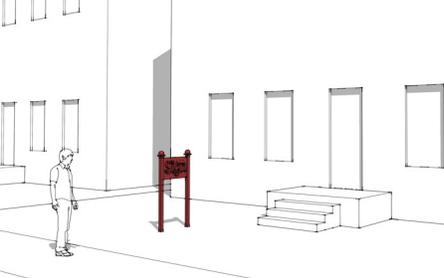
66

	T2O	T3	T4	T4O	T5L	T5	SPECIFICATIONS	
Marquee 							a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height i. Distance from Curb	1 per business n/a entrance plus 2' each side max 50% Story height min 4 ft, max 10 ft min 10 ft n/a n/a min 3 ft.
Monument 							a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height i. Distance from Curb	1 per parcel max 24 sf max 4 ft max 6 ft max 1 ft. n/a max 78 in. n/a min 10 ft.
Nameplate Sign 							a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height	1 max 6 sf max 3.5 ft max 3.5 ft max 5 in min 4 ft n/a n/a
Outdoor Display Case 							a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height	1 max 6 sf max 3.5 ft max 3.5 ft max 5 in min 4 ft n/a n/a

Article 5

Subdivision & Zoning

SIGN TYPES CONTINUED.

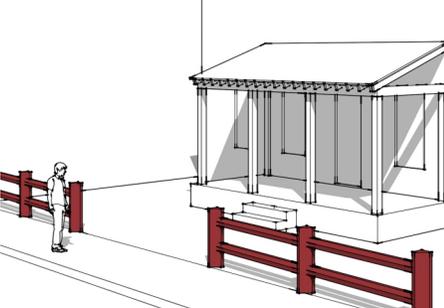
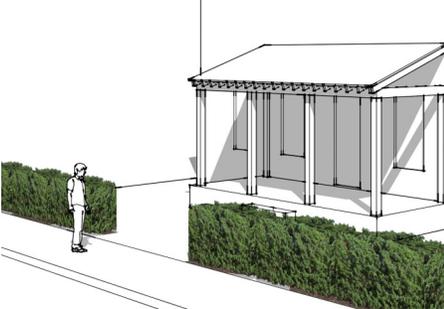
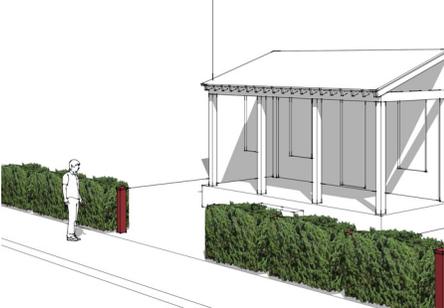
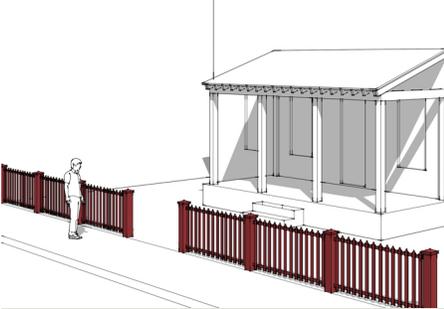
	T20	T3	T4	T4O	T5L	T5	SPECIFICATIONS	
Shingle Sign 	■	■	■	■	■	■	a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height i. Distance from Curb May be used with Awning	1 per facade, 2 max 4 sf max 2 ft max 3 ft max 2 ft min 7 ft n/a max 8 in
Sidewalk Sign 	■		■	■		■	a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height	1 per business max 8 sf max 26 in max 42 in n/a n/a max 42 in n/a
Window Sign 	■		■	■	■	■	a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height	1 per window max 25% of glass varies varies n/a 4 ft n/a max 8 in
Yard Sign 	■	■	■	■	■	■	a. Quantity (max) b. Area c. Width (max) d. Height e. Depth / Projection f. Clearance g. Apex h. Letter Height j. Setback from frontage line	1 per parcel max 6 sf varies 6 ft. max. n/a n/a n/a 6 ft. min.

Article 5

Subdivision & Zoning

TABLE 19. FENCE TYPES

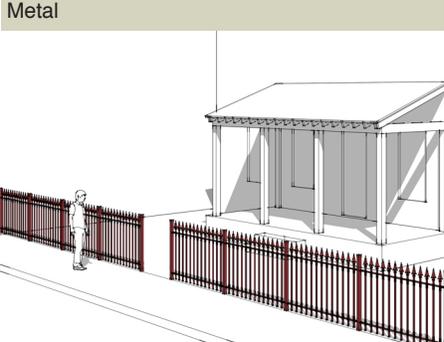
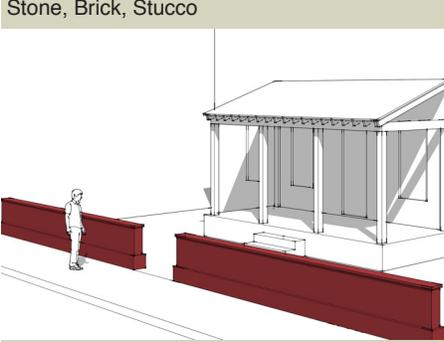
68

	T20	T3	T4	T40	T5L	T5	SPECIFICATIONS	
Ranch 	■	■					a. Setback _____ _____ _____	<u>0" or 18" for landscape</u> _____ _____
Hedgerow 	■	■	■				a. Plant type _____ b. Setback _____ _____ _____	<u>evergreen</u> <u>0" or 18" for landscape</u> _____ _____
Post and Hedge 	■	■	■	■			a. Plant type _____ b. Setback _____ _____ _____	<u>evergreen</u> <u>0" or 18" for landscape</u> _____ _____
Picket 	■	■	■	■	■		a. Picket spacing _____ b. Setback _____ _____ _____	<u>≤ 2.5 times width of picket</u> <u>0" or 18" for landscape</u> _____ _____

Article 5

Subdivision & Zoning

FENCE MATERIAL CONTINUED

	T20	T3	T4	T40	T5L	T5	SPECIFICATIONS	
<p>Metal</p> 							<p>a. Material</p> <p>b. Finish</p> <p>c. Picket spacing</p> <p>d. Setback</p>	<p>aluminum or wrought iron</p> <p>powder coat or paint</p> <p>≤ 2.5 times width of picket</p> <p>0" or 18" for landscape</p>
<p>Stone, Brick, Stucco</p> 							<p>a. Material</p> <p>b. Setback</p>	<p>Stone, Brick or Stucco</p> <p>0" or 18" for landscape</p>
<p>Metal and Stone, Brick, Stucco</p> 							<p>a. Material</p> <p>b. Setback</p>	<p>Stone, Brick or Stucco</p> <p>with Metal panels</p> <p>0" or 18" for landscape</p>

Article 5

Subdivision & Zoning

TABLE 20. FENCE LOCATIONS

70

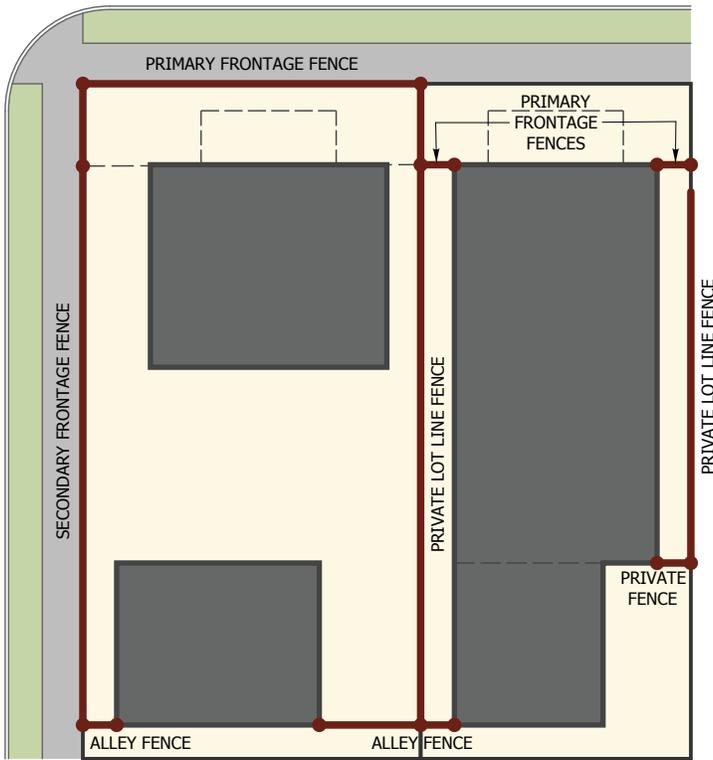
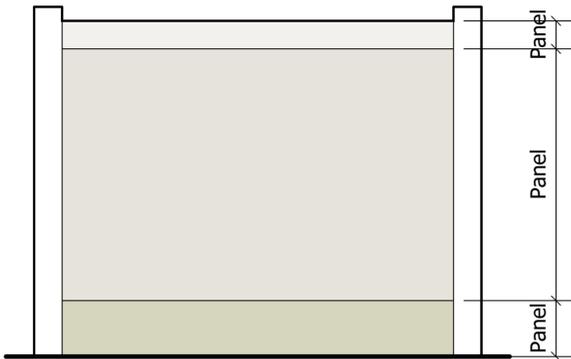


TABLE 21. FENCE PANELS



ARTICLE 6. SPECIAL DISTRICTS

6.1 Special Districts SDB and SDI

6.1.1 Building Placement

- a. Newly platted lots shall be dimensioned according to Table 22 and Table 23.
- b. Buildings shall be placed in relation to the boundaries of their lots according to Table 22 and Table 23.
- c. One principal building at the frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in Table 15.
- d. Lot coverage by building shall not exceed that recorded in Table 22 and Table 23.
- e. Setbacks for buildings shall be as shown in Table 22 and Table 23.

6.1.2 Building Configuration

- a. General to SDB, SDI
 - i. Buildings on corner lots shall have two private frontages as shown in Table 17. Prescriptions for the second and third layers pertain only to the principal frontage. Prescriptions for the first layer pertain to both frontages.
 - ii. Encroachments shall be as follows: At the first layer, cantilevered awnings and entry canopies may encroach up to one hundred percent (100%) of the depth of the setback, except as may be further allowed by Chapter 19 of the City of Ranson Code of Ordinances; cantilevered portions of balconies, bay windows, and roofs shall be a maximum three (3) feet deep and may encroach up to a three (3) feet depth of the setback. Other cantilevered portions of the building shall maintain the required setback. At the second layer no encroachments are permitted except that façade components promoting energy efficiency such as shading and screening devices that are non-accessible may encroach a maximum of three (3) feet.
 - iii. Galleries and arcades shall be a minimum twelve (12) feet deep and may encroach up to one hundred percent (100%) of the depth of the setback.
 - iv. In a parking structure or garage, each above-ground level counts as a single story regardless of its relationship to habitable stories.
 - v. Height limits do not apply to attics or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.
 - vi. All storage, utility and infrastructure elements including service areas, loading space, transformers, telephone boxes, garbage cans, dumpsters, condensers, meters, backflow preventers, siamese connections and the like shall be located within the second or third layer and concealed from view from any frontage or sidewalk by streetscreens, and opaque gates. Loading and service entries shall be accessed from alleys when available.
 - vii. Building heights shall be measured in stories and shall conform to Table 5 and be allocated as required in Table 22 and Table 23. Industrial uses requiring additional Height in SDI may be permitted by administrative waiver The City Manager or his designee must make the following written findings:
 1. The waiver is consistent with the provisions of Section 1.2 Intent.
 2. The waiver is consistent with the Comprehensive Plan.
 3. The waiver does not require a Special Exception Permit.
 4. The additional height will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.

Article 6

Special Districts

72

5. The additional height will not substantially injure the value of adjoining property; or that the use is a public necessity.
6. The additional height, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
7. The applicant has demonstrated that the use specifically requires the proposed Height.
- viii. A first floor commercial use, which shall be a minimum of 11 feet with a maximum of 25 feet. A single floor level exceeding 14 feet, or 25 feet at ground level, shall be counted as two (2) stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional story.
- ix. Flat roofs shall be enclosed by parapets of a minimum height required to conceal mechanical equipment.
- x. Streetscreens shall be between three and a half (3.5) and eight (8) feet in Height. The Streetscreen may be replaced by a hedge or fence. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- b. Specific to SDB
 - i. The private frontage of buildings shall conform to Table 6.
 - ii. All facades shall be glazed with clear glass no less than 15% of the first story.
- c. Specific to SDI
 - i. Vehicular entries, loading space and service areas shall be permitted on principal frontages.

6.1.3 Building Use

- a. Buildings in Special Districts shall conform to the uses and intensities described in Table 7 and Table 8.

6.1.4 Parking Standards

- a. Vehicular parking shall be required as shown in Chapter 19, Sec. 19-12.
- b. On-street parking available along the frontage lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. All parking, including open parking areas, covered parking, garages, loading docks and service areas shall be masked from the frontage by a streetscreen pursuant to Sub-section 6.1.2. Underground parking may extend into the second layer only if it is fully underground and does not require raising the first-floor elevation of the second layer above that of the sidewalk.
- d. Buildings mixing uses shall provide parking required for each use.

6.1.5 Landscape Standards

- a. Buffers and screening elements shall be used to screen parking areas from public view, to screen service yards and other places that are unsightly, and to buffer between the special district and an adjacent Transect District.
 - i. A frontage landscape buffer, which may also include the sidewalk, shall be a minimum of ten (10) feet in depth, measured from the frontage line and running its full width.
 1. A minimum of one (1) tree shall be planted within the first layer for every 700 square feet of frontage landscape buffer.
 2. Fifty (50) percent or more of the frontage landscape buffer must have shrubs and vegetative cover.

- ii. An interior landscape buffer located along common property lines shall be required between a SD and an adjacent Transect Districts.
 - 1. A minimum of one (1) tree shall be planted within the side and rear setbacks for every 700 square feet of interior landscape buffer.
 - 2. Fifty (50) percent of the interior landscape buffer shall be covered with vegetation.

Article 6

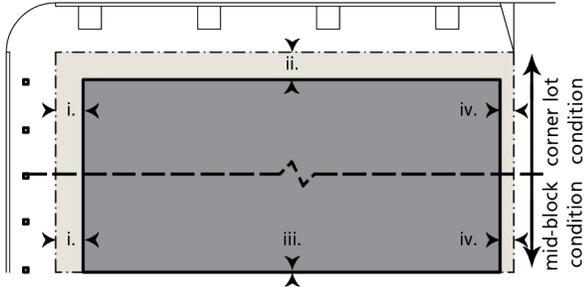
Special Districts

74

TABLE 22. SDB STANDARDS

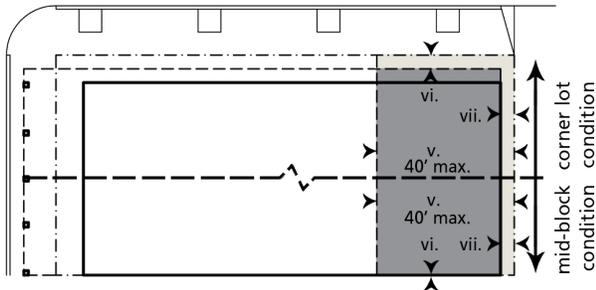
A. BUILDING PLACEMENT

PRINCIPAL BUILDING



- i. Front Setback (Principal) 24 ft. max.
- ii. Front Setback (Secondary) 24 ft. max.
- iii. Side Setback 24 ft. max.
- iv. Rear Setback 12 ft. min.

OUTBUILDING



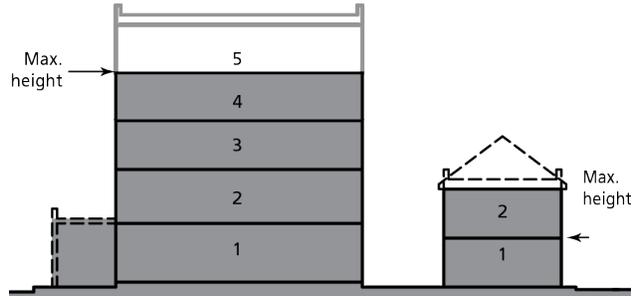
- v. Front Setback (Principal) 40 ft. max. from rear property line
- vi. Side Setback 3 ft. min.
- vii. Rear Setback 3 ft. min.

ENCROACHMENTS

i. Setback Encroachments	
Stoop, Lightwell or Terrace	100% max.
ii. Sidewalk Encroachments	
Awning or Gallery	80% max.
iii. Encroachment Depths	
Stoop, Lightwell or Terrace	6 ft. max.
Gallery	within 2 ft. of curb
Awning	within 2 ft. of curb

B. BUILDING FORM

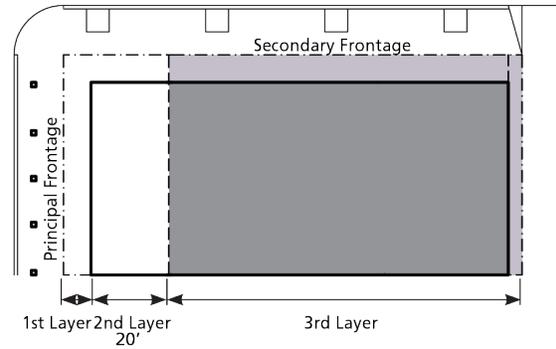
HEIGHT



PRINCIPAL BUILDING	
Stories	4 max., 5 by special exception
To Eave / Parapet	70ft. max., 90ft. by special exception
OUTBUILDING BUILDING	
Stories	2
To Eave / Parapet	30 ft. max.

MASS	
Lot Width	60 ft. min., 300 ft. max.
Lot Coverage	70% max.
Facade Buildout at Setback	60% min. – 100% max.

PARKING AND STORAGE LOCATION

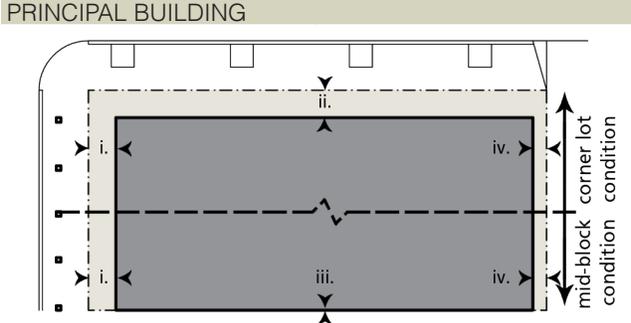


PARKING	
1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	permitted
3rd layer (see Table 15)	permitted
TRASH & STORAGE * LOCATION	
1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

* Storage includes boats and recreational vehicles.

TABLE 23. SDI STANDARDS

A. BUILDING PLACEMENT



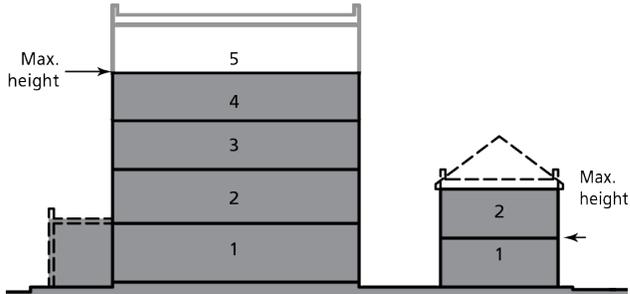
i. Front Setback (Principal)	30 ft. max.
ii. Front Setback (Secondary)	30 ft. max.
iii. Side Setback	24 ft. max.
iv. Rear Setback	24 ft. min.

ENCROACHMENTS

i. Setback Encroachments	
Stoop, Lightwell or Terrace	100% max.
ii. Sidewalk Encroachments	
Awning or Gallery	80% max.
iii. Encroachment Depths	
Balcony and /or Bay Window	6 ft. max.
Stoop, Lightwell or Terrace	6 ft. max.
Gallery	within 2 ft. of curb
Awning	within 2 ft. of curb

B. BUILDING FORM

HEIGHT



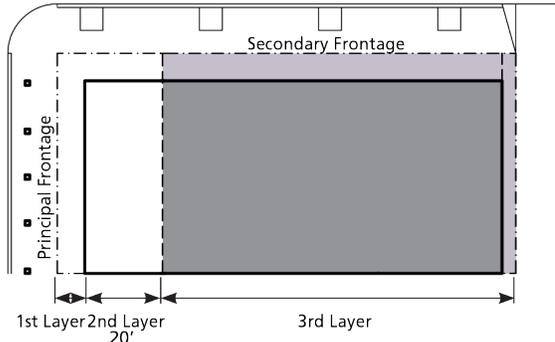
PRINCIPAL BUILDING

Stories	4 max., 5 by special exception
To Eave / Parapet	70ft.max.,90ft. by special exception

MASS

Lot Width	n/a
Lot Coverage	60% max.
Facade Buildout at Setback	n/a

PARKING AND STORAGE LOCATION



PARKING

1st layer (see Table 15)	permitted
2nd layer (see Table 15)	permitted
3rd layer (see Table 15)	permitted

TRASH & STORAGE * LOCATION

1st layer (see Table 15)	not permitted
2nd layer (see Table 15)	not permitted
3rd layer (see Table 15)	permitted

* Storage includes boats and recreational vehicles.

Article 6

Special Districts

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ARTICLE 7. PUBLIC REALM

7.1 Instructions

- 7.1.1 This Chapter establishes design standards for public spaces and thoroughfares for land regulated by this Chapter.
- 7.1.2 The design standards set forth in this Chapter may be used as criteria for the planning approval process and are sanctioned through their respective city departments including Engineering, Planning, Public Works and Parks & Recreation.
- 7.1.3 Provisions of this Chapter, when in conflict, take precedence over those of other codes, ordinances, regulations and standards for Engineering, Planning, Public Works and Parks & Recreation, except the Local Health and Safety Codes and Local, State, and National Building Codes.
- 7.1.4 Additional licenses, agreements, and permits may be required as maintained and administered in the office of the respective City department.
- 7.1.5 Preliminary design drawings and final construction drawings for civic spaces, civic buildings, thoroughfares, and utilities require approval from the CRC.
- 7.1.6 Thoroughfare and utility plans submitted for approval must demonstrate compliance with:
 - a. Thoroughfare standards (Section 7.2)
 - b. Easement standards (Section 7.3)
 - c. Landscape standards (Section 7.5)
- 7.1.7 Civic space plans submitted for approval must demonstrate compliance with:
 - a. Civic space standards (Section 7.4)

7.2 Thoroughfare Standards

- 7.2.1 The primary use of thoroughfares is to provide access to lots and open spaces. In accordance with the intent of this Chapter, thoroughfares must be designed to support several modes of transportation: public transportation, motor vehicles, and non-motor vehicles such as bicycles, and pedestrians.
- 7.2.2 All thoroughfares shall terminate at other thoroughfares in intersections, forming a network. Where topographical conditions exist that restrict the ability to form road networks a pedestrian connection shall be made. Right-of-way shall be dedicated that will allow the continuation of road networks to adjacent properties.
 - a. Intersections are not included in Table 30 and should be appropriately engineered.
 - i. Roundabouts are permitted instead of signalization, but require a traffic engineer.
- 7.2.3 All thoroughfares must be configured as thoroughfare assemblies, as generally illustrated in Table 30. Thoroughfare assemblies must be designed in accordance with Subsection 7.2.4.
- 7.2.4 Thoroughfare Assemblies
 - Thoroughfare assemblies shall consist of a transportation way and public frontage assemblies, as generally illustrated in Table 24.
 - a. Thoroughfare assemblies must be configured by Transect District and thoroughfare assembly type according to Table 25 and must be mapped on a thoroughfare network plan. Table 30 includes pre-approved thoroughfare assemblies for use under this Chapter.
 - b. Thoroughfare assemblies must include public frontages configured according to Section 7.2.5.
 - c. The transportation way may include vehicular lanes, parking lanes, medians, access lanes, and transportation provisions.
 - i. Elements of the transportation way must be configured and sized according to

Article 7

Public Realm

78

Table 26.

- ii. Medians may include civic special districts and should be designed to generally meet the level of public planting of adjacent public frontages.
- iii. Parking lanes must be 8 feet or less in width for parallel parking or 18 feet or less for angled parking. Tick marks, where required, identifying parking lanes must be within the parking lane width.
- d. Alley easements include one vehicular lane, within a total width no more than 30 ft. The entire right-of-way should be paved. Alley assemblies do not include transportation ways or public frontages. Alleys may be located in T5, T4O, and T4 districts.
- e. Rear lane easements include one vehicular lane, within a total width no more than 24 ft. Only the vehicular lane and driveways should be paved. Rear lanes do not include transportation ways or public frontages. Rear lanes may be located in T4, T3, and T2O districts.

7.2.5 Public Frontages

Public frontage assemblies consisting of planters, walkways, curbs, verges, public planting and public lighting, as generally illustrated in Table 24. Elements of the public frontage assembly that pass from one transect district to another must be blended to the character of the transect district of adjacent lots.

- a. Public frontage assemblies shall be assigned according to Table 26.
- b. Public frontage assemblies shall be configured according to Table 27. Assemblies including a walkway or planter shall specify a minimum width.
- c. Public frontage assemblies shall assign a verge, providing allowable locations for public infrastructure and public furniture outside of pedestrian and vehicular access ways.
- d. Public frontage assemblies shall include public planting and public lighting, configured according to Table 27. The spacing shall be as shown in Table 30. The spacing may be adjusted up to 20% by administrative waiver to accommodate specific site conditions or shopfronts. The City Manager or his designee must make the following written findings:
 - i. The administrative waiver is consistent with the provisions of Section 1.2 Intent.
 - ii. The waiver is consistent with the Comprehensive Plan.
 - iii. The public planting and public lighting will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
 - iv. The public planting and public lighting will not substantially injure the value of adjoining property; or that the use is a public necessity.
 - v. The location and character of the public planting and public lighting, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
 - vi. Planned or existing site conditions, such as location of doors and windows, fire hydrants, traffic control signs and signals, street lights, trees, or other street furniture, prevent adherence to the standards in Table 30.
 - vii. Public lighting must be located within the verge.
 - viii. Public planting must be designed in accordance with Section 7.5.
 - ix. Public frontages in T4O, T5L, and T5 within thoroughfare assemblies 44 feet wide and commercial streets 60 feet wide or less may exclude public planting.
 - x. At retail frontages, the spacing of trees may be irregular to avoid visually obscuring shopfronts.
 - xi. At gallery frontages and arcade frontages, public planting is not required and public

lighting may be provided within the gallery or arcade.

7.3 Easement Standards

- 7.3.1 Utility easements must be located as generally illustrated in Table 28.
- 7.3.2 Wet utilities may only be located on private lots or civic spaces when topographical conditions require placement in these locations.
- 7.3.3 Wet utility laterals shall be coordinated with the landscaping and street light placement.
- 7.3.4 For properties with existing overhead utilities
 - a. Dry utility services shall be placed underground from the pole to any new structure.
 - b. Where possible transformers and utility pedestals will be set behind the principal building frontage.
 - c. The reservation of an easement for the future underground placement of these utilities shall be required.
 - d. Utility poles must be relocated where they prohibit the construction of a unobstructed 5' pedestrian sidewalk.
 - e. Additional building setbacks within the private frontage for the overhead utilities may be required.
- 7.3.5 For properties without rear alleys.
 - a. All dry utilities shall be placed underground.
 - b. Dry utilities shall be placed under the sidewalk, or within the public frontage and adjacent to the property line where no sidewalk is required.
 - c. Where possible transformers and utility pedestals will be set behind the principal building frontage.
- 7.3.6 For properties with rear alleys or lanes.
 - a. Dry utilities will be located within the transportation way.
 - b. Transformers and utility pedestals shall be located on private property within utility easements.
- 7.3.7 Transformers and utility pedestals shall not be located at terminated vistas.
- 7.3.8 Alley and rear lane easement configurations are specified in Section 7.2. Pre-approved alley and rear lane assemblies are included in Table 30.
- 7.3.9 Pedestrian access easements in the form of pedestrian trails, paths, and passages must be configured as follows:
 - a. A minimum 5 foot walkway must be provided.
 - b. Public planting and public lighting must be configured according to public frontage standards in Section 7.5.
 - c. Pre-approved pedestrian access easements are included in Table 30.

7.4 Civic Areas

- 7.4.1 Civic space must be generally designed as described in Table 31.
- 7.4.2 Planting and landscaping in civic spaces, are regulated by Section 7.5.
- 7.4.3 Lighting in civic spaces, must meet the type, height, and spacing requirements in Table 34.

7.5 Landscape Standards

- 7.5.1 All planting in the public frontage and civic spaces must consist of species specified in Table 32.
- 7.5.2 Trees in public frontages must be a minimum height of ten (10) feet and two (2) inches in caliper when planted.
 - a. Five (5) foot high trees with one (1) inch caliper shall be permitted if a two-year warranty

Article 7

Public Realm

is provided.

- 80 7.5.3 Street trees planted in areas of conflict with overhead utilities shall be limited to the following pursuant to the requirements of the Municipal Tree Restoration Program and the West Virginia Division of Forestry:
- a. Oriental cherry
 - b. Crabapple
 - c. Eastern redbud
 - d. Hawthorn
 - e. Japanese snowbell
 - f. Kousa dogwood
 - g. Amur maple
 - h. Tatarian maple
 - i. Serviceberry
 - j. Silver bell
 - k. Tree lilac
- 7.5.4 Distance from corner, curb and fireplug.
- a. No street tree shall be planted closer than 35 feet of any street corner, measured from the point of the nearest intersecting curb or curblin. No street trees shall be planted closer than ten feet away from any fireplug.
- 7.5.5 Distance from utilities.
- a. No street trees other than those species listed as ornamental trees on Table 32 may be planted within ten lateral feet of any underground water line, sewer line, transmission line or other utility.
- 7.5.6 Public tree care.
- a. The city shall have the right to plant, prune, maintain and remove trees, plants and shrubs within the lines of all streets, alleys, avenues, lanes, and civic spaces, as may be necessary to insure public safety or to preserve or enhance the symmetry and beauty of such civic spaces.
 - b. The city tree board may remove or cause or order to be removed, any tree or part thereof which is in an unsafe condition or which by reason of its own nature is damaging to sewers, electric power lines, gas lines, water lines or other public improvements, or is affected with any injurious fungus, insect or other pest. This section does not prohibit the planting of street trees by adjacent property owners providing that the selection and location of such trees are in accordance with the official street tree list and sections 16-240 through 16-246
- 7.5.7 Tree topping.
- a. It shall be unlawful as a normal practice for any person to top any street tree or other tree on public property. Topping is defined as the severe cutting back of limbs to stubs larger than three inches within the tree's crown to such a degree so as to remove the normal canopy and disfigure the tree. Trees severely damaged by storms or other causes, or certain trees under utility wires or other obstructions where pruning practices are impractical, may be exempted from this section by determination of the city tree board.
- 7.5.8 Pruning, corner clearance.
- a. Every owner of any tree overhanging any street or right-of-way within the city shall prune the branches so that such branches shall not obstruct the light from any street lamps or obstruct the view of any street intersection and so that there shall be a clear

- space of eight feet above the surface of the street or sidewalk. Such owners shall remove all dead, decayed or dangerous trees, or broken or decayed limbs which constitute a menace to the safety of the public.
- b. The city shall have the right to prune any tree or shrubbery on private property where it interferes with the proper spread of light along the street from a street lamp or interferes with visibility of any traffic control device or sign.
- 7.5.9 Dead or diseased tree removal on private property.
- a. The city shall have the right to cause the removal of any dead or diseased trees on private property within the city, when such trees constitute a hazard to life and property, or harbor insects or diseases which constitute a potential threat to other trees within the city. The city tree board will notify in writing the owners of such trees. Removal may be done by such owners at their expense within 60 days after the date of service of notice. In the event of failure of the owner to comply with such provisions, the city shall have the authority to remove such trees and charge the cost of removal to the owner.
- 7.5.10 Removal of stumps.
- a. All stumps of street and civic space trees shall be removed below the surface of the ground so that the top of the stump shall not project above the surface of the ground.
- 7.5.11 Parking lots shall be landscaped as follows:
- a. Paving should consist of pervious materials where subsurface conditions will support infiltration.
 - b. Where possible the parking surfaces will drain into landscape areas that have been design to accept and detain water.
 - c. Parking lots consisting of less than 25 spaces are exempt from landscaping requirements.

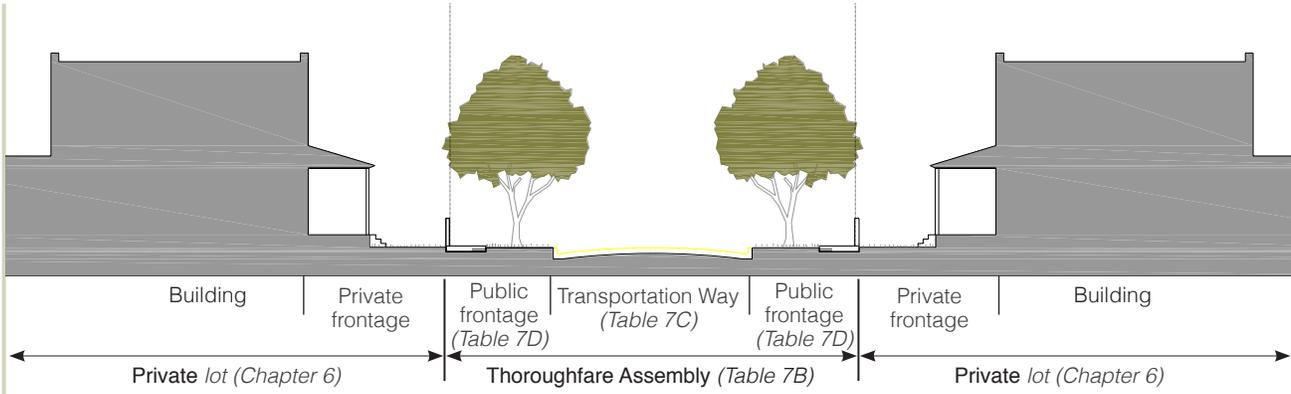
Article 7

Public Realm

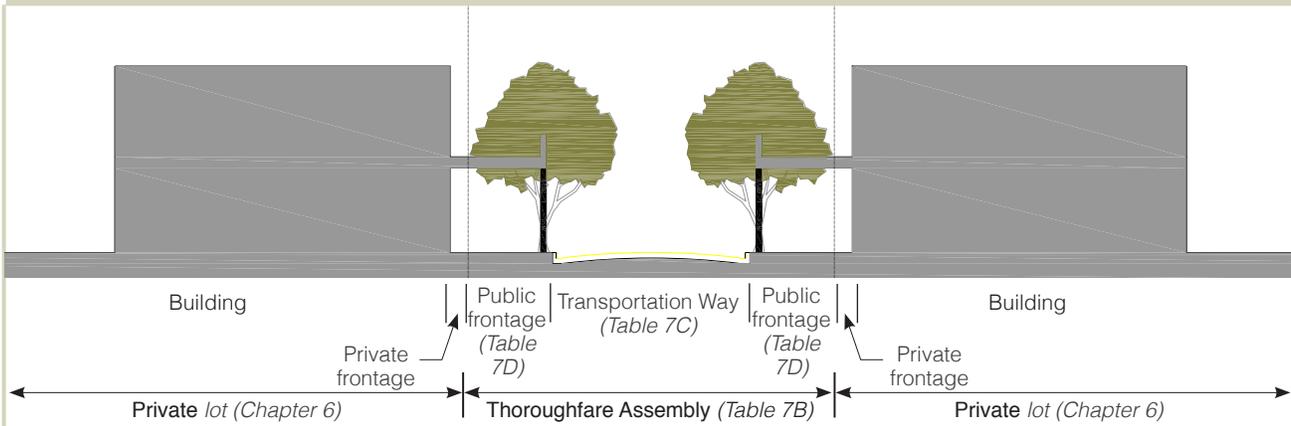
82

TABLE 24. THOROUGHFARES AND FRONTAGES

A. TYPICAL SECTION IN T3



B. TYPICAL SECTION IN T5 WITH GALLERY FRONTAGE ENCROACHMENTS



C. TYPICAL PUBLIC FRONTAGES (SEE TABLE 27)

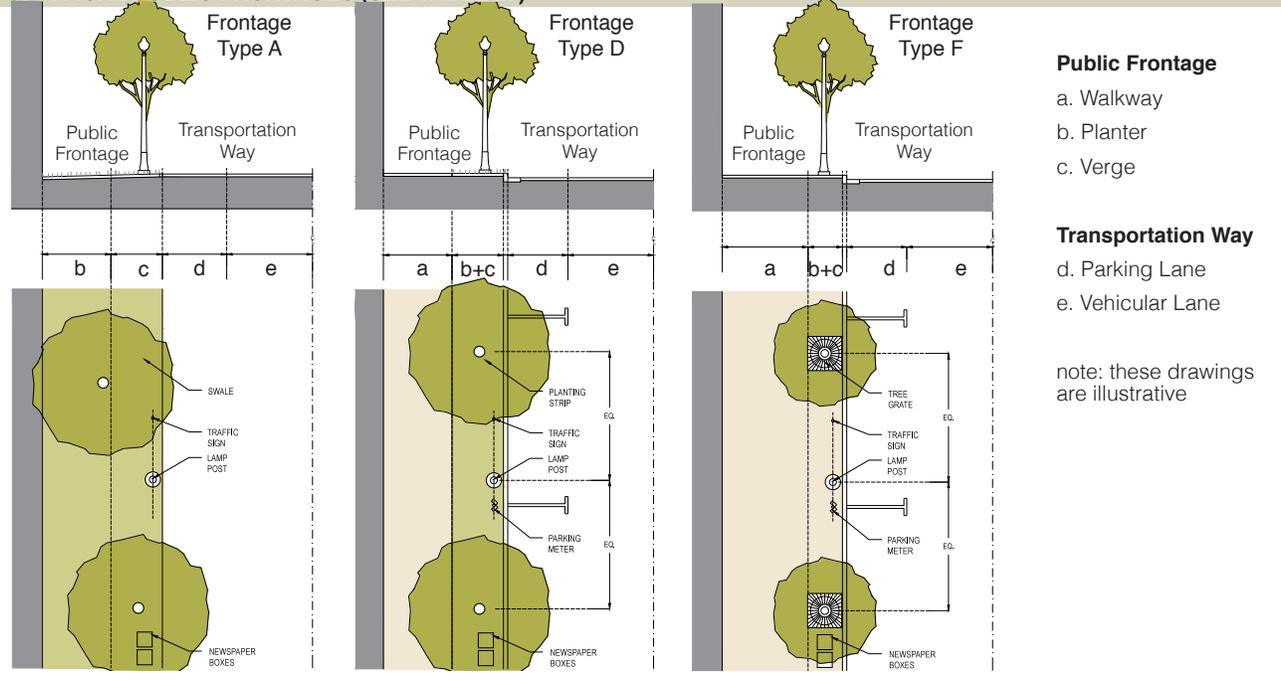


TABLE 25. THOROUGHFARE ASSEMBLY TYPES

THOROUGHFARE TYPE	T1	T2	T3	T4	T5	DESCRIPTION	COMPACT URBAN FUNCTIONAL CLASSIFICATION
HIGHWAY (HW)	■	■				A long-distance, high-speed, free-movement thoroughfare traversing open countryside. A highway should be relatively free of intersections, driveways, and adjacent buildings.	Principal Arterial
PARKWAY (PW)	■	■	■	■		A highway designed in conjunction with naturalistic landscaping, including a variable-width median. A parkway should include a wide right-of-way landscaped on both sides of vehicular lanes.	Principal Arterial
ROAD (RD)	■	■	■			A local, slow-movement thoroughfare suitable for low density environments. Roads tend to be rural in character without curbs or striping.	Local
STREET (ST)			■	■	■	A local, slow-movement thoroughfare suitable for general urban areas. Streets are urban in character, and flexible in the types of public frontages they support.	Collector, Local
DRIVE (DR)			■	■	■	A thoroughfare along the boundary between an urbanized and a natural condition, usually along a waterfront, a park, or a promontory. One side of a drive has the urban character of a street or boulevard, while the other has the qualities of a road or parkway.	Collector, Local
AVENUE (AV)			■	■	■	A limited distance, free-movement thoroughfare connecting civic locations within an urbanized area. Unlike a boulevard, its length is finite and its axis is terminated. An avenue may be conceived as an elongated square.	Collector, Local
COMMERCIAL STREET (CS)					■	A local, slow-movement thoroughfare suitable for high-intensity urban areas. Commercial streets are urban in character, supporting parallel or angled parking on both sides and narrow lanes appropriate for a commercial environment.	Collector, Local

Article 7

Public Realm

84

THOROUGHFARE ASSEMBLY TYPES CONTINUED

THOROUGHFARE TYPE	T1	T2	T3	T4	T5	DESCRIPTION	COMPACT URBAN FUNCTIONAL CLASSIFICATION
BOULEVARD (BV)				■	■	A long-distance, free-movement thoroughfare traversing an urbanized area. A boulevard often includes a wide median and a wide public frontage and therefore a wide right-of-way. Access lanes are often provided to separate public frontages from the higher speed lanes.	Minor Arterial, Collector
REAR LANE			■	■		A vehicular access way located to the rear of a lot providing access to parking and outbuildings as well as easements for utilities. Rear lanes are paved as lightly as possible to driveway standards or with gravel.	
ALLEY				■	■	A narrow service access to the rear of more urban buildings providing service and parking areas and utility easements. Alleys, as they are used by trucks and must accommodate dumpsters, should be paved from building face to building face, with drainage by inverted crown at the center.	

TABLE 26. TRANSPORTATION WAY

PUBLIC FRONTAGE (SEE TABLE 27)	TARGET SPEED (MPH)	TRAVEL LANE WIDTH		CONTEXT						
				T1	T2	T3	T4	T5		
				R	O	L	O	L	O	
A, B, C	20 or less	8 ft.		■	■	□	■	□	□	□
A, B, C, D	20 – 25	9 ft.		■	■	□	■	■	□	□
A, B, C, D, E, F	25 – 30	10 ft.		■	■	■	■	■	■	■
A, B, C, D, E, F	30 – 35	11 – 12 ft.		■	■	□	■	□	□	□
A	above 35	12 ft.		■	■					
PUBLIC FRONTAGE	TARGET SPEED (MPH)	PARKING LANE WIDTH		T1	T2	T3	T4	T5		
		PARALLEL	ANGLED							
C, D	20 – 25	7 ft.				■	■			
D, E, F	20 – 30		18 ft.		■			■		
C, D, E, F	25 – 35	8 ft.			■	■	■	■		
PUBLIC FRONTAGE	TARGET SPEED (MPH)	EFFECTIVE CURB RADIUS *		T1	T2	T3	T4	T5		
		PARALLEL	ANGLED							
A, B, C	20 or less	5 – 10 ft.				■	■	■		
A, B, C, D	20 – 25	10 – 15 ft.		□	■	■	■	■		
A, B, C, D, E, F	25 – 30	15 – 20 ft.		□	■	■	■	■		
A, B, C, D, E, F	30 – 35	20 – 30 ft.			■					

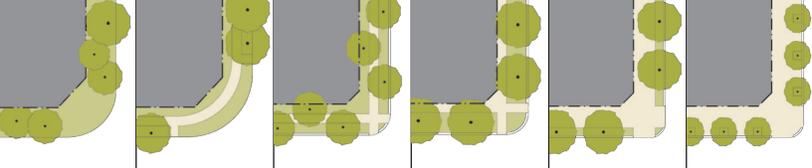
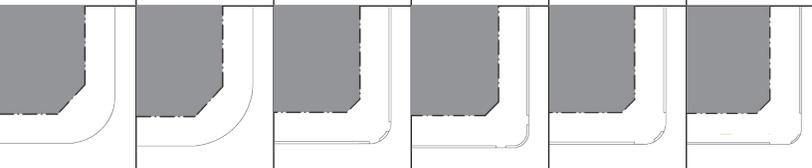
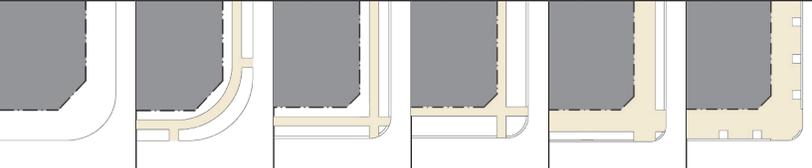
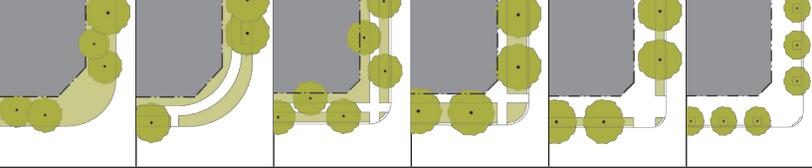
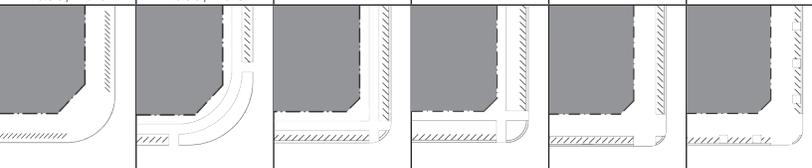
* Dimensions with parking on each leg of intersection. Both tangent sections adjacent to the curb return must be parked, or else curb radii must be evaluated using “design vehicle” and AutoTurn or turning templates.

Article 7

Public Realm

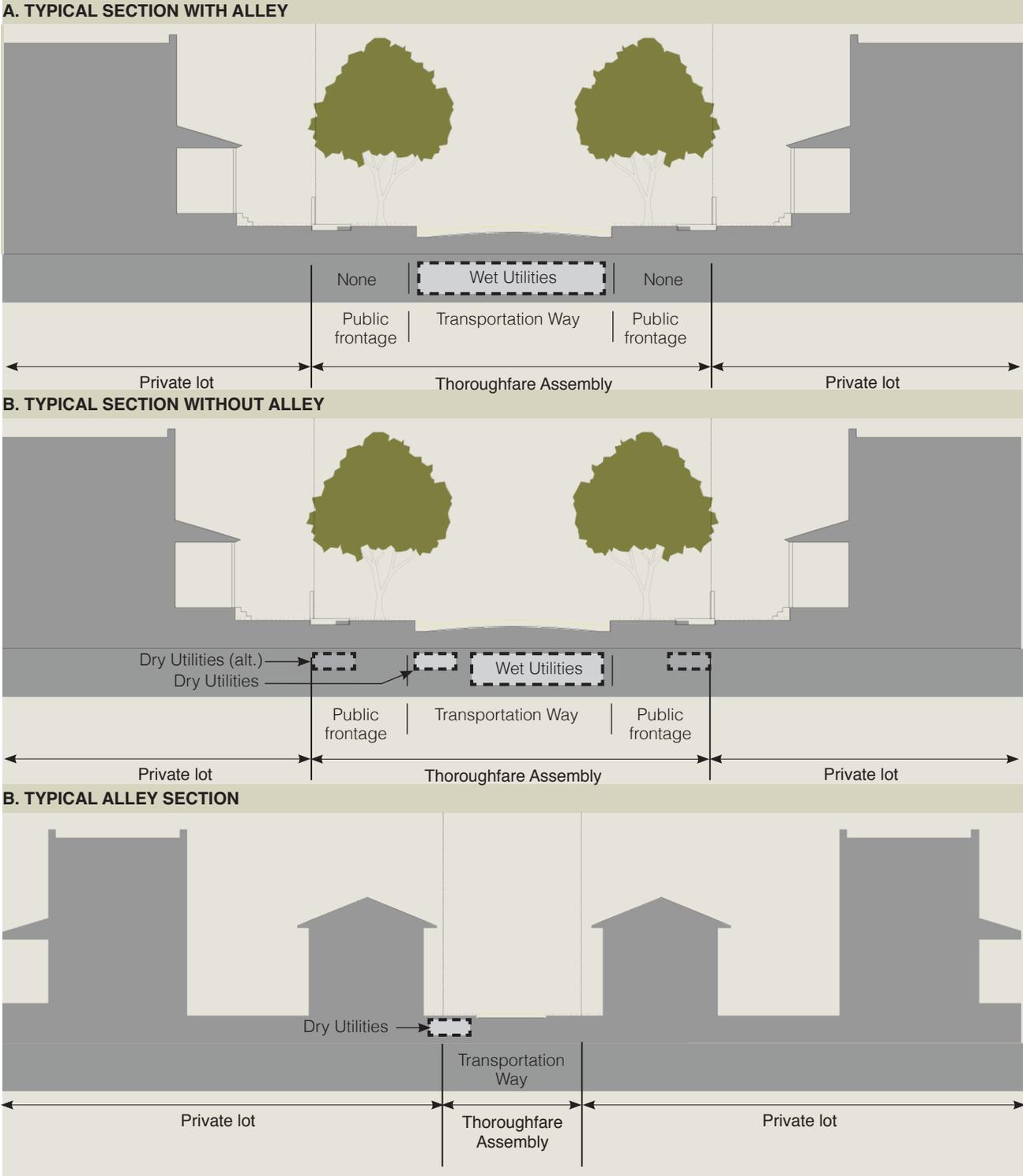
TABLE 27. PUBLIC FRONTAGE TYPES

86

Public Frontage Type	A	B	C	D	E	F
<p>i. Assembly: The principal variables are the type and dimension of curbs, walkways, planters and landscape.</p> 						
Total Width	14-24 feet	12-24 feet	12-18 feet	12-18 feet	14-24 feet	14-24 feet
<p>ii. Curbing: The detailing of the edge of the vehicular way, incorporating drainage.</p> 						
Type Cuts	Open Swale Radius @ 10 - 30 feet	Open Swale Ramp at 1:12 slope	Raised Curb Ramp at 1:12 slope	Raised Curb Ramp at 1:12 slope	Raised Curb Ramp at 1:12 slope	Raised Curb Ramp at 1:12 slope
<p>iii. Walkway: The portion of the thoroughfare dedicated exclusively to pedestrian activity</p> 						
Type Width	Path Optional n/a	Path 4 - 6 feet	Sidewalk 4 - 6 feet	Sidewalk 4 - 8 feet	Sidewalk 8 - 18 feet	Sidewalk 10 - 20 feet
<p>iv. Planter: The portion of the thoroughfare accommodating street trees and other landscape.</p> 						
Arrangement	Clustered Dissimilar	Clustered Dissimilar	Regular Dissimilar	Regular Similar	Regular Similar	Opportunistic Similar
Type	Dissimilar	Dissimilar	Dissimilar	Similar	Similar	Similar
Species	Alternating	Alternating	Alternating	Alternating	Alternating	Single
Spacing	n/a	n/a	n/a	Regular	Regular	Regular / Irregular
Planter Type	Continuous Swale	Continuous Swale	Continuous Planter	Continuous Planter	Continuous Planter	Tree Well
Planter Width	14 - 24 feet	8 - 20 feet	8 - 12 feet	8 - 14 feet	6 - 16 feet	4 - 6 feet
Public Planting Type	Columnar, Oval, Rounded, Conical, Spreading, Vase, Pole	Columnar, Oval, Rounded, Conical, Spreading, Vase, Pole	Rounded, Conical, Spreading, Vase, Pole	Columnar, Rounded, Vase, Pole	Columnar, Rounded, Pole	Columnar, Rounded, Pole
<p>v. Verge: Provides allowable locations for public infrastructure and public furniture outside of access ways</p> 						
Verge Width	3 feet*	3 feet*	4 feet*	4 feet*	5 feet*	5 feet*
Verge Material	match planter	match planter	match planter	match planter	match planter	match sidewalk or pervious pavement
Lighting Type (Table 7P)	Pipe, Cobra-head	Pipe, Cobra-head	Post, Pipe, Column	Pipe, Column	Pipe, Column, Bollard	Column, Double Column

* Verge should begin within 2 feet of the curb or edge of pavement.

TABLE 28. UTILITY EASEMENTS

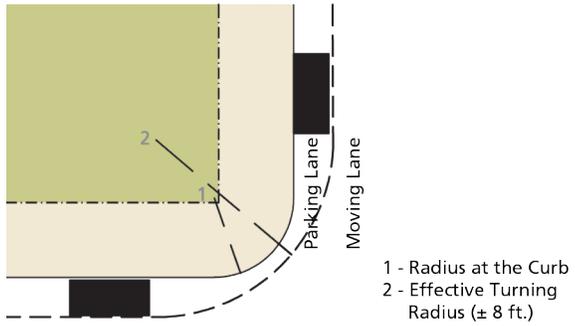


Article 7

Public Realm

TABLE 29. EFFECTIVE TURNING RADIUS

88



On-street parking creates wider turning radius, the "effective turning radius", than provided by the curb radius alone.

TABLE 30. PRE-APPROVED ASSEMBLIES

KEY		ST-57-20-BL			
Thoroughfare Type					
Right of Way Width					
Pavement Width					
Transportation					
THOROUGHFARE TYPES					
Avenue:	AV				
Commercial Street:	CS				
Drive:	DR				
Street:	ST				
Rear Alley:	RA				
Rear Lane:	RL				
Assembly Designation		ST-46-24		ST-54-32	
Thoroughfare Type		Street		Street	
Transect District		T3, T4		T3, T4	
Right-of-Way Width		46 ft.		54 ft.	
Pavement Width		24 ft.		32 ft.	
Transportation Way					
Vehicular Lane(s)		Yield Lane: Two way @ 16 ft.		Yield Lane: Two way @ 16 ft.	
Parking Lanes		One lane parallel @ 8 ft.		Two lanes parallel @ 8 ft.	
Striping		Optional		Optional	
Median Width		n/a		n/a	
Median Planting		n/a		n/a	
Median Surface		n/a		n/a	
Target Speed		20 mph		20 mph	
Bicycle Provision		Shared lane		Shared lane	
Transit Provision		n/a		n/a	
Public Frontage		D		D	
Assembly Width		11 ft.	11 ft.	11 ft.	11 ft.
Public Frontage Type		D	D	D	D
Transect District		T3	T4	T3	T4
Curbing	Type	Raised	Raised	Raised	Raised
	Curb Cut Radius	15 ft.	15 ft.	10 ft.	10 ft.
Walkway	Width	5 ft.	5 – 6 ft.	5 ft.	5 – 6 ft.
	Surface	Concrete	Concrete	Concrete	Concrete
Planter	Type Size	Continuous 6 ft.	Continuous 5 – 6 ft.	Continuous 6 ft.	Continuous 5 – 6 ft.
	Arrangement	Regular	Regular	Regular	Regular
Street Tree	Species	Alternating	Alternating	Alternating	Alternating
	Spacing	40 ft. o.c. avg.	30 ft. o.c.	40 ft. o.c. avg.	30 ft. o.c.
Verge	Surface	Ground cover or grass	Ground cover or grass	Ground cover or grass	Ground cover or grass
	Street Tree Size	Medium Shade	Medium Shade	Medium Shade	Medium Shade
Lighting	Width	3 ft.	3 ft.	3 ft.	3 ft.
	Type	Post	Post	Post	Post
Lighting Spacing		At intersections	At intersections	At intersections	At intersections

Article 7

Public Realm

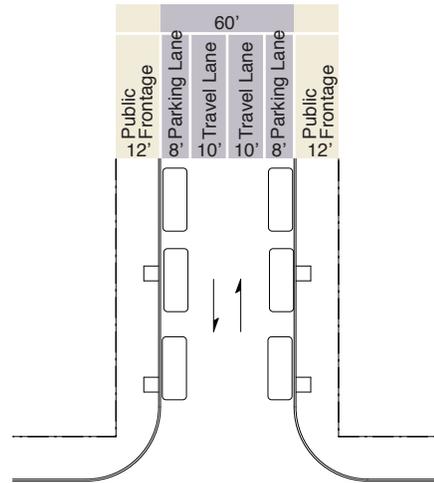
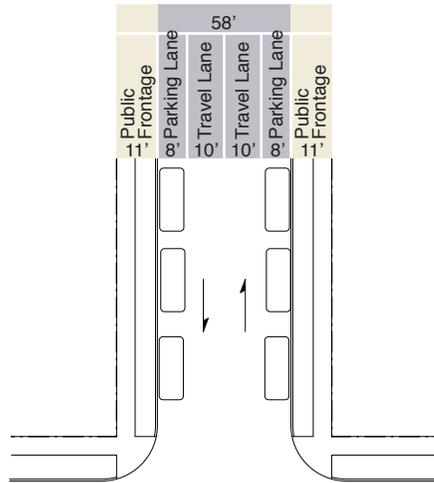
90

PRE-APPROVED ASSEMBLIES CONT.



THOROUGHFARE TYPES

- Avenue: AV
- Commercial Street: CS
- Drive: DR
- Street: ST
- Rear Alley: RA
- Rear Lane: RL



Assembly Designation		ST-58-36		CS-60-36	
Thoroughfare Type		Street		Commercial Street	
Transect District		T20, T4, T40, T5		T40, T5	
Right-of-Way Width		58 ft.		60 ft.	
Pavement Width		36 ft.		36 ft.	
Transportation Way					
Vehicular Lane(s)		Two Lanes: Two way, one lane each way @ 10 ft.		Two Lanes: Two way, one lane each way @ 10 ft.	
Parking Lanes		Two lanes parallel @ 8 ft.		Two lane parallel @ 8 ft.	
Striping		Required		Required	
Median Width		n/a		n/a	
Median Planting		n/a		n/a	
Median Surface		n/a		n/a	
Target Speed		25 mph		25 mph	
Bicycle Provision		Sharrow		Sharrow	
Transit Provision		Bus route		Bus route	
Public Frontage		D, F		F	
Assembly Width		11 ft.		12 ft.	
Public Frontage Type		D		F	
Transect District		T20, T4, T40		T40, T5	
Curbing	Type	Raised Curb		Raised Curb	
	Curb Cut Radius	15 ft.		20 ft.	
Walkway	Width	5 ft.		12 ft.	
	Surface	Concrete		Concrete	
Planter	Type Size	Continuous 6 ft.		Tree well 6 ft.	
	Arrangement	Regular		Regular	
	Species	Alternating		Alternating	
	Spacing	40 ft. o.c. avg.		30 ft. o.c. avg.	
Street Tree	Surface	Ground cover or grass		Pervious paving	
	Tree Size	Large Shade		Large Shade	
Verge	Width	3 ft.		6 ft.	
	Lighting Type	Pipe, Column		Column	
	Lighting Spacing	50 ft. o.c.		50 ft. o.c.	

PRE-APPROVED ASSEMBLIES CONT.

KEY ST-57-20-BL

Thoroughfare Type 

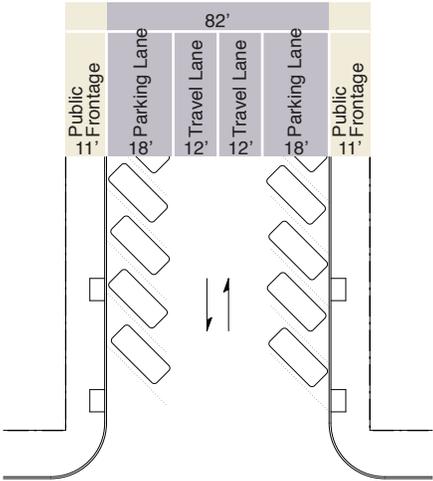
Right of Way Width 

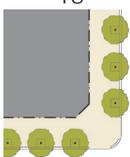
Pavement Width 

Transportation 

THOROUGHFARE TYPES

Avenue: AV
 Commercial Street: CS
 Drive: DR
 Street: ST
 Rear Alley: RA
 Rear Lane: RL



Assembly Designation		CS-82-60
Thoroughfare Type		Street
Transect District		T4O, T5
Right-of-Way Width		82 ft.
Pavement Width		60 ft.
Transportation Way		
Vehicular Lane(s)		Two Lanes: Two way, one lane each way @ 12 ft.
Parking Lanes		Two reverse angle @ 18 ft.
Striping		Required
Median Width		n/a
Median Planting		n/a
Median Surface		n/a
Target Speed		25 mph
Bicycle Provision		Sharrow
Transit Provision		n/a
Public Frontage		F
Assembly Width		21 ft.
Public Frontage Type		F
Transect District		T5
		
Curbing	Type	Raised Curb
	Curb Cut Radius	15 ft.
Walkway	Width	11 ft.
	Surface	Concrete
Planter	Type Size	Tree well 4 ft. x 9 ft.
	Arrangement	Regular
	Species	Alternating
	Spacing	30 ft. o.c. avg.
Verge	Surface	Pervious paving
	Street Tree Size	Medium Shade
Lighting	Width	6 ft.
	Lighting Type	Column
Lighting	Spacing	50 ft. o.c.

CS-82-60 Notes: 1. Use of section south of Lancaster is contingent upon final ROW survey.
 2. Reverse angle parking will require new curb.

Article 7

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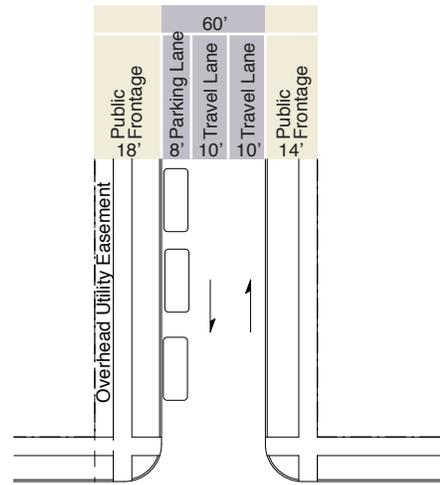
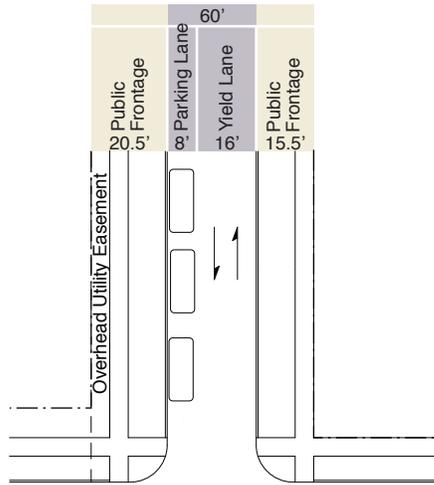
92

PRE-APPROVED ASSEMBLIES CONT. – OLD TOWN

KEY	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

THOROUGHFARE TYPES

Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Rear Alley:	RA
Rear Lane:	RL



Assembly Designation		ST-60-24		ST-60-28	
Thoroughfare Type		Street		Street	
Transect District		T3, T4		T20, T3, T4	
Right-of-Way Width		60 ft.		60 ft.	
Pavement Width		24 ft.		28 ft.	
Transportation Way					
Vehicular Lane(s)		Yield Lane: Two way @ 16 ft.		Two Lanes: Two way, one lane each way @ 10 ft.	
Parking Lanes		One lane parallel @ 8 ft.		One lane parallel @ 8 ft.	
Striping		Optional		Optional	
Median Width		n/a		n/a	
Median Planting		n/a		n/a	
Median Surface		n/a		n/a	
Target Speed		20 mph		25 mph	
Bicycle Provision		Shared lane		Sharrow	
Transit Provision		n/a		n/a	
Public Frontage		C, D		C, D	
Assembly Width		20.5 ft. 15.5 ft.	20.5 ft. 15.5 ft.	18 ft. 14 ft.	18 ft. 14 ft.
Public Frontage Type		C	D	C	D
Transect District		T3, T4	T3, T4	T3, T4	T20, T3, T4
Curbing	Type	Raised Curb		Raised Curb	
	Radius	15 ft.		10 ft.	
Walkway	Width	5 ft.		5 ft.	
	Surface	Concrete		Concrete	
Planter	Type Size	Continuous 10.5 ft.		Continuous 9 ft.	
	Arrangement	Regular		Regular	
	Species	Alternating		Alternating	
	Spacing	30 ft. o.c.		30 ft. o.c.	
	Surface	Ground cover or grass		Ground cover or grass	
Street Tree	Size	Medium Shade		Medium Shade	
	Width	4 ft.		4 ft.	
Verge	Lighting Type	Post		Post	
	Lighting Spacing	At intersections		At intersections	

PRE-APPROVED ASSEMBLIES – OLD TOWN CONT.

KEY ST-57-20-BL

Thoroughfare Type

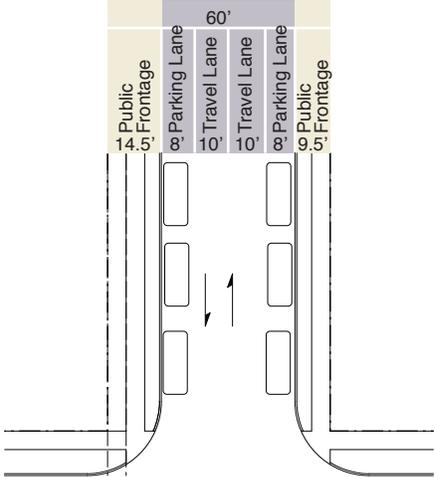
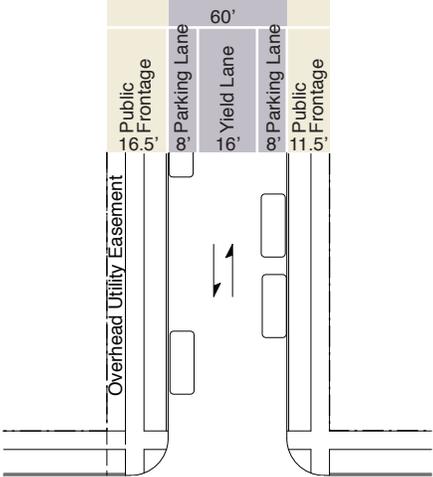
Right of Way Width

Pavement Width

Transportation

THOROUGHFARE TYPES

Avenue: AV
 Commercial Street: CS
 Drive: DR
 Street: ST
 Rear Alley: RA
 Rear Lane: RL



Assembly Designation		ST-60-32		ST-60-36	
Thoroughfare Type		Street		Street	
Transect District		T3, T4		T20, T3, T4	
Right-of-Way Width		60 ft.		60 ft.	
Pavement Width		32 ft.		36 ft.	
Transportation Way					
Vehicular Lane(s)		Yield Lane: Two way @ 16 ft.		Two Lanes: Two way, one lane each way @ 10 ft.	
Parking Lanes		Two lanes parallel @ 8 ft.		Two lanes parallel @ 8 ft.	
Striping		Optional		Optional	
Median Width		n/a		n/a	
Median Planting		n/a		n/a	
Median Surface		n/a		n/a	
Target Speed		20 mph		25 mph	
Bicycle Provision		Shared lane		Sharrow	
Transit Provision		n/a		n/a	
Public Frontage		C, D		C, D	
Assembly Width		16.5 ft. 11.5 ft.	16.5 ft. 11.5 ft.	14.5 ft. 9.5 ft.	14.5 ft. 9.5 ft.
Public Frontage Type		C	D	C	D
Transect District		T3, T4	T3, T4	T3, T4	T20, T3, T4
Curbing	Type	Raised Curb		Raised Curb	
	Radius	10 ft.		10 ft.	
Walkway	Width	5 ft.		5 ft.	
	Surface	Concrete		Concrete	
Planter	Type Size	Continuous 6.5 ft.		Continuous 4.5 ft.	
	Arrangement	Regular		Regular	
	Species	Alternating		Alternating	
	Spacing	30 ft. o.c.		30 ft. o.c.	
	Surface	Ground cover or grass		Ground cover or grass	
Verge	Street Tree Size	Large Shade		Large Shade	
	Width	4 ft.		4 ft.	
Lighting	Type	Post		Column	
	Spacing	At intersections		50 ft. o.c.	

Article 7

Public Realm

94

PRE-APPROVED ASSEMBLIES – FAIRFAX BLVD.

KEY ST-57-20-BL

Thoroughfare Type 

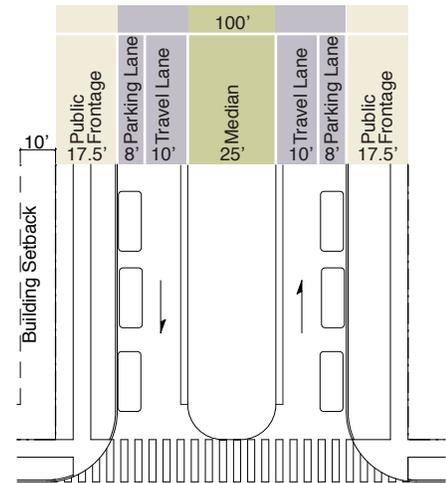
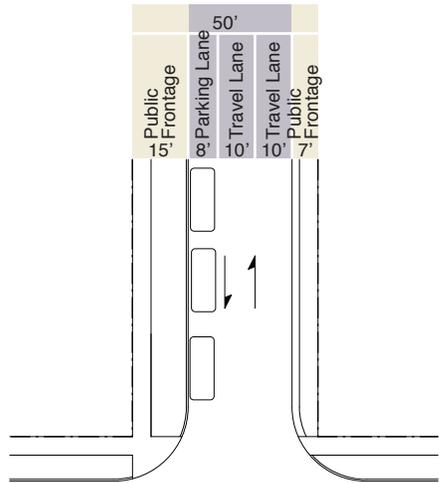
Right of Way Width 

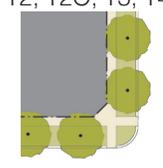
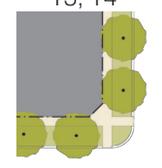
Pavement Width 

Transportation 

THOROUGHFARE TYPES

Avenue: AV
 Commercial Street: CS
 Drive: DR
 Street: ST
 Rear Alley: RA
 Rear Lane: RL

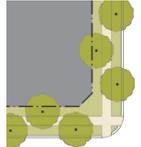
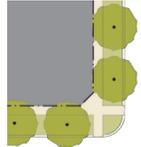


Assembly Designation		DR-50-28		AV-100-40	
Thoroughfare Type		Drive		Avenue	
Transect District		T2, T2O, T3, T4		T3, T4, T4O	
Right-of-Way Width		50 ft.		100 ft.	
Pavement Width		28 ft.		40 ft.	
Transportation Way					
Vehicular Lane(s)		Two Lanes: Two way, one lane each way @ 10 ft.		Two Lanes: Two way, one lane each way @ 10 ft.	
Parking Lanes		One lane parallel @ 8 ft.		Two lanes parallel @ 8 ft.	
Striping		Optional		Optional	
Median Width		n/a		25 ft.	
Median Planting		n/a		20 ft. o.c. avg.	
Median Surface		n/a		Grass, ground cover and mulch	
Target Speed		25 mph		25 mph	
Bicycle Provision		Sharrow		Sharrow	
Transit Provision		n/a		Bus route	
Public Frontage		C, D		C, D	
Assembly Width		15 ft. 7 ft.		17.5 ft.	
Public Frontage Type		D		C	
Transect District		T2, T2O, T3, T4		T3, T4, T4O	
					
Curbing		Type: Raised Curb Open Swale		Type: Raised Curb	
		Curb Cut Radius: 20 ft.		Curb Radius: 20 ft.	
Walkway		Width: 5 ft. none		Width: 5 ft.	
		Surface: Concrete n/a		Surface: Concrete	
Planter		Type Size: Continuous 10 ft.		Type Size: Continuous width varies	
		Arrangement: Regular Clustered park side		Arrangement: Regular	
		Species: Alternating Multiple park side		Species: Alternating	
		Spacing: 30 ft. o.c. n/a park side		Spacing: 30 ft. o.c.	
		Surface: Ground cover or grass		Surface: Ground cover or grass	
		Street Tree Size: Large Shade varied park side		Street Tree Size: Large Shade, ornamental under overhead utilities	
Verge		Width: 4 ft.		Width: 4 ft.	
		Lighting Type: Post		Lighting Type: Post	
		Lighting Spacing: At intersections		Lighting Spacing: At intersections	

AV-100-40 Notes:

1. ROW width varied, planting strip width will vary based on available ROW. All other dimensions remain constant.
2. Where possible, overhead utilities to be relocated underground.
3. Building setbacks may vary as req'd to obtain min. separation from overhead utilities.
4. Max. tree height at maturity under overhead utilities shall be 20 feet.
5. All trees to be located a minimum of 10 feet from utility poles.

PRE-APPROVED ASSEMBLIES – FAIRFAX BLVD. CONT.

KEY		ST-57-20-BL			
Thoroughfare Type		100'			
Right of Way Width		66'			
Pavement Width		36'			
Transportation					
THOROUGHFARE TYPES					
Avenue:		AV			
Commercial Avenue:		CAV			
Commercial Street:		CS			
Drive:		DR			
Street:		ST			
Rear Alley:		RA			
Rear Lane:		RL			
Assembly Designation		CAV-100-40		CAV-66-36	
Thoroughfare Type		Commercial Avenue		Commercial Avenue	
Transect District		T4, T4O		T4, T4O, T5	
Right-of-Way Width		100 ft.		66 ft.	
Pavement Width		40 ft.		36 ft.	
Transportation Way					
Vehicular Lane(s)		Two Lanes: Two way, one lane each way @ 10 ft.		Two Lanes: Two way, one lane each way @ 10 ft.	
Parking Lanes		Two lanes parallel @ 8 ft.		Two lanes parallel @ 8 ft.	
Striping		Optional		Optional	
Median Width		25 ft.		6 ft Safety Strip.	
Median Planting		20 ft. o.c. avg.		n/a	
Median Surface		Grass, ground cover and mulch		Cobble or equivalent	
Target Speed		25 mph		25 mph	
Bicycle Provision		Sharrow		Sharrow	
Transit Provision		Bus route		Bus route	
Public Frontage		C, D		E, F	
Assembly Width		17.5 ft.		17.5 ft.	
Public Frontage Type		C		D	
Transect District		T3, T4, T4O		T3, T4, T4O	
					
Curbing		Type: Raised Curb		Type: Raised Curb	
		Curb Cut Radius: 20 ft.		Curb Cut Radius: 20 ft.	
Walkway		Width: 5 ft.		Width: 5 ft.	
		Surface: Concrete		Surface: Concrete	
Planter		Type Size: Continuous width varies		Type Size: Continuous 4 ft.	
		Arrangement: Regular		Arrangement: Regular	
		Species: Alternating		Species: Alternating	
		Spacing: 30 ft. o.c.		Spacing: 30 ft. o.c.	
		Surface: Ground cover or grass		Surface: Ground cover or grass	
		Street Tree Size: Large Shade, ornamental under overhead utilities		Street Tree Size: Large Shade, ornamental under overhead utilities	
Verge		Width: 4 ft.		Width: 4 ft.	
		Lighting Type: Post		Lighting Type: Column	
		Lighting Spacing: At intersections		Lighting Spacing: At intersections	

CAV-100-40 Notes: 1. Overhead utilities relocated underground with development of commercial uses or medium/high density residential.
 2. ROW width varies, planting strip width varies based on available ROW. All other dimensions remain constant.

CAV-66-36 Notes: 1. Overhead utilities relocated underground where possible.
 3. Building setbacks may vary as req'd to obtain min. separation from overhead utilities.
 4. Max. tree height at maturity under overhead utilities shall be 20 feet.
 5. All trees to be located a minimum of 10 feet from utility poles.

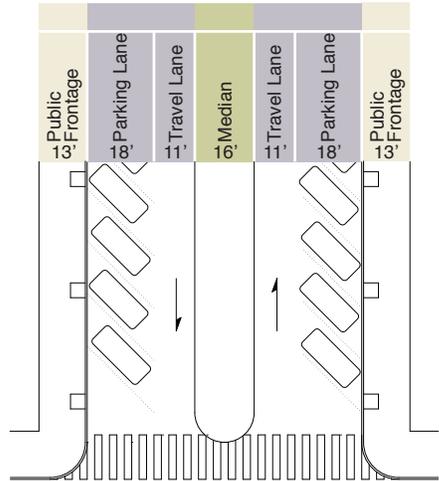
Article 7

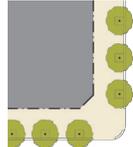
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96

PRE-APPROVED ASSEMBLIES – FAIRFAX BLVD. CONT.

KEY	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	
THOROUGHFARE TYPES	
Avenue:	AV
Commercial Avenue:	CAV
Commercial Street:	CS
Drive:	DR
Street:	ST
Rear Alley:	RA
Rear Lane:	RL



Assembly Designation	CAV-100-58
Thoroughfare Type	Commercial Avenue
Transect District	T4O, T5
Right-of-Way Width	100 ft.
Pavement Width	58 ft.
Transportation Way	
Vehicular Lane(s)	Two Lanes: Two way, one lane each way @ 11 ft.
Parking Lanes	Two reverse angle @ 18 ft.
Striping	Required
Median Width	16 ft.
Median Planting	20 ft. o.c. avg.
Median Surface	Grass, ground cover
Target Speed	25 mph
Bicycle Provision	Sharrows
Transit Provision	Bus route
Public Frontage	E, F
Assembly Width	17.5 ft.
Public Frontage Type	F
Transect District	T4O, T5
	
Curbing	Type: Raised Curb
	Curb Cut: Radius
	Radius: 10 ft.
Walkway	Width: 13 ft.
	Surface: Concrete
Planter	Type Size: Tree well 4 ft. x 6 ft.
	Arrangement: Regular
	Species: Alternating
	Spacing: 30 ft. o.c.
	Surface: Pervious paving
Street Tree Size	Large shade
	Width: 4 ft.
Verge	Lighting Type: Column
	Lighting Spacing: 50 ft. o.c.

CS-82-60 Notes: 1. Use of section south of Lancaster is contingent upon final ROW survey.
2. Reverse angle parking will require new curb.

PRE-APPROVED ASSEMBLIES - OPEN SECTIONS

KEY		ST-57-20-BL	
Thoroughfare Type			
Right of Way Width			
Pavement Width			
Transportation			
THOROUGHFARE TYPES			
Avenue:	AV		
Commercial Street:	CS		
Drive:	DR		
Street:	ST		
Rear Alley:	RA		
Rear Lane:	RL		
Assembly Designation		RD-60-20	ST-56-18
Thoroughfare Type		Road	Street
Transect District		T2	T2, T3
Right-of-Way Width		60 ft.	56 ft.
Pavement Width		20 ft.	18 ft.
Transportation Way			
Vehicular Lane(s)		Two Lanes: Two way, one lane each way @ 10 ft.	Two Lanes: Two way, one lane each way @ 9 ft.
Parking Lanes		n/a	n/a
Striping		Optional	Optional
Median Width		n/a	n/a
Median Planting		n/a	n/a
Median Surface		n/a	n/a
Target Speed		30 mph	25 mph
Bicycle Provision		none	none
Transit Provision		none	none
Public Frontage		A	A, B
Assembly Width		18 ft.	17 ft.
Public Frontage Type		A	A
Transect District		T1, T2	T2
Curbing	Type	Open Swale	Open Swale
	Curb Cut Radius	25 ft.	25 ft.
Walkway	Width	Path optional	n/a
	Surface	n/a	n/a
	Type Size	Continuous 16 ft.	Continuous 17 ft.
Planter	Arrangement	Clustered	Clustered
	Species	Varied	Varied
	Spacing	Irregular	Irregular
	Surface	n/a	n/a
	Street Tree Size	n/a	n/a
	Width	3 ft.	3 ft.
Verge	Lighting Type	Cobra Head, Post	None
	Lighting Spacing	At intersections	n/a

- ST-56-18 Notes:
1. Swale not required if drainage can be provided via sheet flow to adjacent property.
 2. Right-of-way may be reduced if drainage and grading easement is provided on private property for the open swale.
 3. Assembly only permitted where lot frontages are 80 ft. wide or greater.

Article 7

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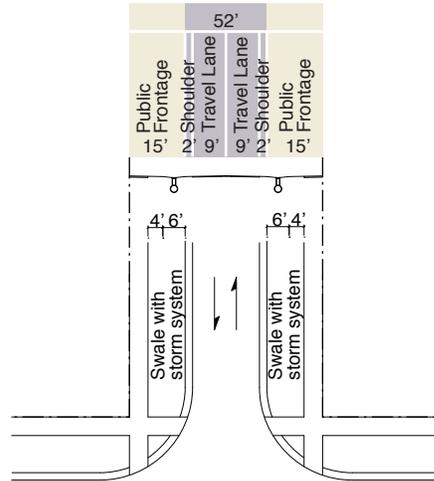
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PRE-APPROVED ASSEMBLIES - OPEN SECTIONS CONT.

KEY	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

THOROUGHFARE TYPES

Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Rear Alley:	RA
Rear Lane:	RL



Assembly Designation	ST-52-18
Thoroughfare Type	Street
Transect District	T20, T3
Right-of-Way Width	52 ft.
Pavement Width	18 ft.
Transportation Way	
Vehicular Lane(s)	Two Lanes: Two way, one lane each way @ 9 ft.
Parking Lanes	n/a
Striping	Optional
Median Width	n/a
Median Planting	n/a
Median Surface	n/a
Target Speed	25 mph
Bicycle Provision	none
Transit Provision	none
Public Frontage	D
Assembly Width	18 ft.
Public Frontage Type	D
Transect District	T20, T3
Curbing	Type Open Swale
Walkway	Curb Cut Radius 25 ft.
	Width 5 ft.
Planter	Surface concrete
	Type Size Continuous 4 ft.
	Arrangement Regular
Street Tree Size	Species Alternating
	Spacing 50 ft. o.c. average
Verge	Surface Grass
	Width 4 ft.
Lighting Type	Post
Lighting Spacing	At intersections

PRE-APPROVED ASSEMBLIES - VEHICULAR ACCESS

KEY ST-57-20-BL

Thoroughfare Type

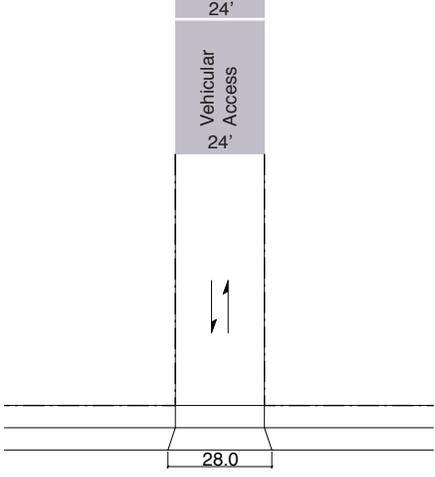
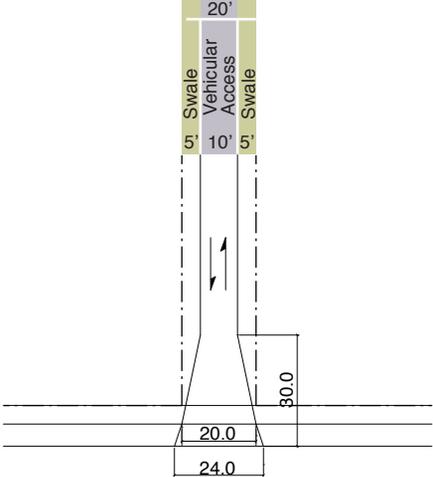
Right of Way Width

Pavement Width

Transportation

THOROUGHFARE TYPES

Avenue: AV
 Commercial Street: CS
 Drive: DR
 Street: ST
 Rear Alley: RA
 Rear Lane: RL



Assembly Designation		RL-20-10	RA-24-24
Transect District		T2O, T3, T4	T4, T4O, T5L, T5
Thoroughfare Type		Rear Lane	Rear Alley
Right-of-Way Width		20 feet	24 feet
Pavement Width		10 feet	24 feet
Transportation Way			n/a
Vehicular Lane(s)		Access way @ 10 feet	Access way @ 24 feet
Parking Lanes		n/a	n/a
Striping		n/a	n/a
Median Width		n/a	n/a
Median Planting		n/a	n/a
Median Surface		n/a	n/a
Target Speed		n/a	n/a
Bicycle Provision		n/a	n/a
Transit Provision		n/a	n/a
Public Frontage		n/a	n/a
Assembly Width		20 ft.	20 ft.
Transect District		n/a	n/a
Curbing	Type	Open Swale	Raised Curb
	Curb Cut	Taper	Taper
Walkway	Radius	n/a	n/a
	Width	n/a	n/a
	Surface	n/a	n/a
Planter	Type Size	n/a	n/a
	Arrangement	n/a	n/a
	Mix	n/a	n/a
Verge	Spacing	n/a	n/a
	Surface	n/a	n/a
	Planting	n/a	n/a
Lighting	Width	n/a	n/a
	Type	n/a	n/a
Lighting Spacing		n/a	n/a

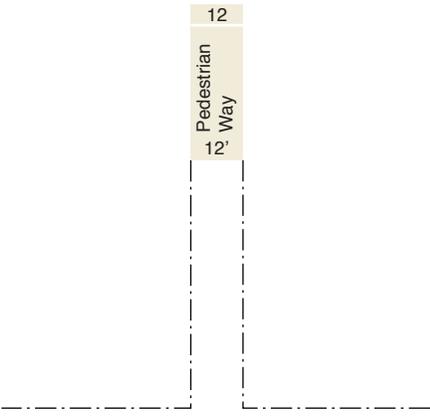
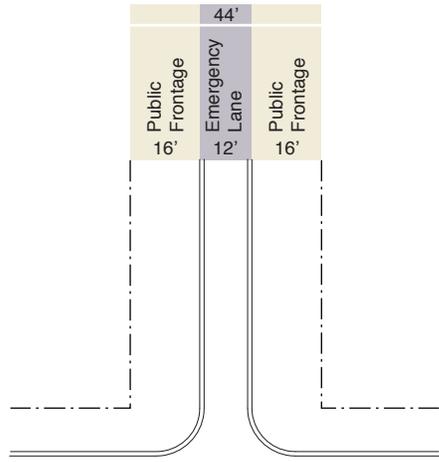
Article 7

Public Realm

100

PRE-APPROVED ASSEMBLIES - PEDESTRIAN ACCESS

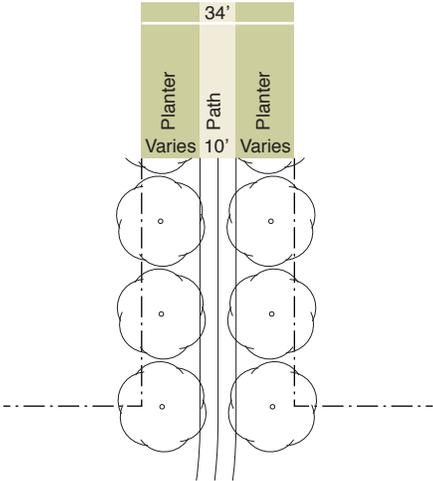
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Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	
THOROUGHFARE TYPES	
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Rear Alley:	RA
Rear Lane:	RL



Assembly Designation		PP-44-12	PP-11-11
Transect District		T4O, T5	T2O, T4O, T5L, T5
Thoroughfare Type		Pedestrian Passage	Pedestrian Passage
Right-of-Way Width		44 feet	11 feet
Pavement Width		12 feet	varies
Transportation Way			n/a
Vehicular Lane(s)		One Lane. One way @ 12', emergency access only	n/a
Parking Lanes		n/a	n/a
Striping		n/a	n/a
Median Width		n/a	n/a
Median Planting		n/a	n/a
Median Surface		n/a	n/a
Target Speed		n/a	n/a
Bicycle Provision		n/a	n/a
Transit Provision		n/a	n/a
Public Frontage		F	n/a
Assembly Width		16 ft.	11 ft.
Transect District		T4O, T5	T2O, T4O, T5L, T5
Type		Raised curb	na/
Curbing	Curb Cut	Taper	n/a
	Radius	n/a	n/a
Walkway	Width	12 ft.	n/a
	Surface	Concrete, pavers, pervious pavers	Concrete, pavers, pervious pavers
Planter	Type Size	Tree well 4 ft. x 6 ft.	n/a
	Arrangement	Regular	n/a
Planter	Mix	Alternating	n/a
	Spacing	30 ft. o.c.	n/a
Planter	Surface	Pervious paving	n/a
	Planting	Ornamental	n/a
Verge	Width	4 ft.	n/a
	Lighting Type	Column	n/a
Lighting Spacing		25 ft. opportunistic	n/a

PRE-APPROVED ASSEMBLIES - PEDESTRIAN ACCESS CONT.

KEY	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	
THOROUGHFARE TYPES	
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Rear Alley:	RA
Rear Lane:	RL



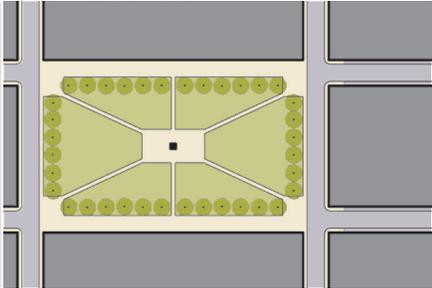
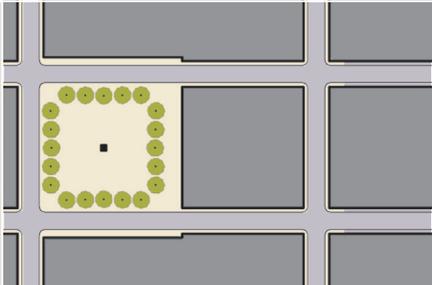
Assembly Designation		PP-34-10	
Transect District		T2O, T3, T4, T4O, T5L, T5	
Thoroughfare Type		Pedestrian Path	
Right-of-Way Width		34 feet	
Pavement Width		n/a	
Transportation Way			
Vehicular Lane(s)		n/a	
Parking Lanes		n/a	
Striping		n/a	
Median Width		n/a	
Median Planting		n/a	
Median Surface		n/a	
Target Speed		n/a	
Bicycle Provision		n/a	
Transit Provision		n/a	
Public Frontage			
Assembly Width		34 ft.	34 ft.
Transect District		T3, T4	T2O, T4O, T5L, T5
Curbing	Type	n/a	n/a
	Curb Cut	n/a	n/a
Walkway	Radius	n/a	n/a
	Width	5 ft. min.	6 ft. –10 ft.
	Surface	Asphalt, pervious	Asphalt, pervious
Planter	Type Size	Continuous Variable	Continuous Variable
	Arrangement	Clustered	Regular
Planter	Mix	Varied	Alternating
	Spacing	Irregular	50 ft. o.c.
	Surface	Grass, ground cover	Grass, ground cover
Verge	Planting	Various	Medium shade
	Width	n/a	n/a
	Lighting Type	n/a	n/a
	Lighting Spacing	n/a	n/a

Article 7

Public Realm

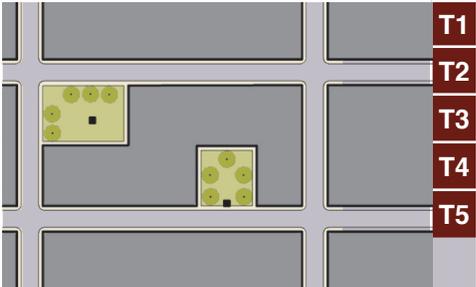
TABLE 31. CIVIC SPACE

102

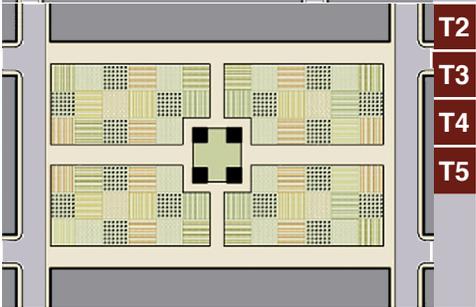
<p>a. Park: A park may be independent of surrounding building frontages. Its landscape shall consist of paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 8 acres. Larger parks may be approved by exception as special districts in all districts.</p>		<p>T1 T2 T3 T4</p>
<p>b. Green: A green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.</p>		<p>T20 T3 T4 T5</p>
<p>c. Square: A square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important thoroughfares. The minimum size shall be 1/4 acre and the maximum shall be 5 acres.</p>		<p>T20 T3 T4 T5</p>
<p>d. Plaza: A plaza shall be spatially defined by building frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/8 acre and the maximum shall be 2 acres.</p>		<p>T4 T5</p>

CIVIC SPACE (CONT.)

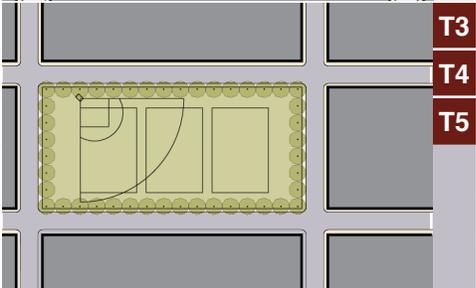
e. Playground: A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



f. Community Garden: A community garden may be fenced and may include a tool shed. Running water is required. Community gardens shall be interspersed within residential areas and may be placed within a block or included within parks and greens. There shall be no minimum or maximum size.



g. Neighborhood Multipurpose Field: A neighborhood multipurpose field may be spatially defined by landscaping rather than building frontages. There shall be a 20 foot clear zone at the perimeter for viewing and shall be landscaped with canopy trees. If this area is adjacent to a thoroughfare, the street trees may provide the necessary shade. This field may serve a secondary purpose of stormwater management. The minimum size shall be 3 acres and the maximum shall be 5 acres.



h. Ramble: A ramble is spatially defined by rear lanes or alleys and the rear yard of the perimeter buildings. The minimum size is 1/4 acre and the maximum size is 5 acres..



Article 7

Public Realm

104 TABLE 32. PUBLIC PLANTING

Tree Canopy Characteristics									
	Specific Name (<i>Botanical Name</i>)	Type	Size (height x spread)	Transect District	CS Table 31	Native	Planting Pattern	Produce / Color in Bloom	Special Instructions
LARGE SHADE TREES (> 50 ft at ma- turity)	Red Maple (<i>Acer Rubrum</i>)	 Rounded	60' x 40'	T1, T2, T3, T4	a., b., c.	Yes	Allee Regular Clustered	Samara / N/A	Does not tol- erate heavily polluted areas.
	Silver Maple (<i>Acer sacchari- num</i>)	 Rounded	60' x 60'	T1, T2	a.	Yes	Regular Clustered	Samara / N/A	Do not use as street tree.
	Shagbark Hickory (<i>Carya ovata</i>)	 Oval	60' x 40'	T1, T2, T3	a., b.	Yes	Regular, Clustered	Nut / N/A	Do not use as street tree.
	Hackberry (<i>Celtis occiden- talis</i>)	 Rounded	50' x 50'	T1, T2, T3, T4	a., b.	Yes	Regular, Clustered	Drupe / N/A	
	American Beech (<i>Fagus grandi- folia</i>)	 Oval	90' x 40'	T1, T2	a.	Yes	Regular Clustered	Three-winged nut / N/A	
	White Ash (<i>Fraxinus ameri- cana</i>)	 Oval	50' x 80'	T1, T2	a.	Yes	Regular Clustered	Samara / N/A	
	Marshall's seed- less green ash (<i>Fraxinus penn- sylvanica lanceo- lata 'marshall's'</i>)	 Rounded	60' x 50'	T1, T2, T3, T4	a., b., c.	Yes	Allee Regular Clustered	Samara / N/A	
	Honeylocust (<i>Gleditsia triac- anthos</i>)	 Rounded	60' x 60'	T1, T2, T3, T4	a.	Yes	Regular Clustered	Pod / N/A	
	Tulip Poplar (<i>Liriodendron tulipifera</i>)	 Oval	60' x 40'	T1, T2	a.	Yes	Regular Clustered	Samara / N/A	
	Black Gum (<i>Nyssa sylvatica</i>)	 Oval	60' x 40'	T1, T2, T3	a., b., c.	Yes	Regular, Clustered	Drupe / N/A	
Sycamore (<i>Platanus occi- dentalis</i>)	 Rounded	60' x 60'	T1, T2	a.	Yes	Regular Clustered	Multiple fruit / N/A	Higher mainte- nance.	

PUBLIC PLANTING (cont.)

105

Tree Canopy Characteristics									
	Specific Name (<i>Botanical Name</i>)	Type	Size (height x spread)	Transect District	CS	Native	Planting Pattern	Produce / Color in Bloom	Special Instructions
LARGE SHADE TREES (> 50 ft at ma- turity)	White Oak (<i>Quercus alba</i>)	 Rounded	60' x 40'	T1	a.	Yes	Regular Clustered	Nut / N/A	
	Pin Oak (<i>Quercus palus- tris</i>)	 Rounded	60' x 40'	All	a., b., c.	Yes	Allee Regular Clustered	Nut / N/A	Fast growing.
	Northern Red Oak (<i>Quercus rubra</i>)	 Rounded	60' x 60'	All	a., b., c.	Yes	Allee Regular Clustered	Nut / N/A	
	Goldspire sugar maple (<i>Acer saccharum</i> 'Goldspire')	 Rounded	70' x 40'	T1, T2, T3	a.	Yes	Allee Regular Clustered	Samara / N/A	Requires wide lawn area.
	American Linden (<i>Tilia americana</i>)	 Oval	60' x 40'	T1, T2	a.	Yes	Regular Clustered	Nutlike / Cream	
	American Elm (<i>Ulmus ameri- cana</i>)	 Rounded	70' x 50'	T1, T2	a.	Yes	Regular Clustered	Samara / N/A	Dutch elm resistant spe- cies only.
	Japanese Zel- kova (<i>Zelkova serrata</i>)	 Rounded	60' x 60'	T2, T3, T4	a., b.	No	Allee Regular Clustered	Drupe / N/A	
	Littleleaf Linden (<i>Tilia cordata</i>)	 Pyramidal	60' x 30'	T3, T4, T5	a., b., c.	No	Allee Regular Clustered	Nutlet / Cream	
	Crimean Lindenr (<i>Tilia euchlora</i>)	 Oval	50' x 25'	T3, T4, T5	a., b., c.	No	Allee Regular Clustered	Nutlet / Cream	Basal suckers.
	Silver Linden (<i>Tilia tomentosa</i>)	 Oval	50' x 25'	T3, T4, T5	a., b., c.	No	Allee Regular Clustered	Nutlet / Cream	Basal suckers.
Kentucky Cof- fetree (<i>Gymnocladus</i> <i>dioicus</i>)	 Oval	60' x 40'	T2, T3	a., b.	No	Regular Clustered	Pod / NA	Male only.	

Article 7

Public Realm

106 PUBLIC PLANTING (cont.)

Tree Canopy Characteristics (cont.)									
	Specific Name (<i>Botanical Name</i>)	Type	Size (height x spread)	Transect District	CS	Native	Planting Pattern	Produce / Color in Bloom	Special Instructions
MEDIUM SHADE TREES (45 ft - 30 ft at maturity)	Hornbeam (<i>Carpinus caroliniana</i>)	 Oval	30' x 30'	T1, T2, T3, T4	a., b., c.	Yes	Allee Regular Clustered	Nutlet / N/A	Good for natu- ralized areas.
	Hazelnut (<i>Corylus americana</i>)	 Rounded	15' x 10'	T1, T2, T3	a., b., c.	Yes	Regular Clustered	Nut / Yellow	Good for natu- ralized areas.
	Sweetbay Mag- nolia (<i>Magnolia virginiana</i>)	 Rounded	15' x 15'	All	a., b., c., e.	Yes	Regular Clustered	Fruit / Cream	
	American Hophornbeam (<i>Ostrya virginiana</i>)	 Rounded	40' x 30'	All	a., b., c., d., e.	No	Regular Clustered	Nutlet / N/A	
	Pyramidal Euro- pean Hornbeam (<i>Carpinus betulus fastigiata</i>)	 Vase	30' x 20'	T2, T3, T4, T5	a., b., c., d., e.	No	Allee Regular Clustered	Nut / N/A	
	Sargent Cherry (<i>Prunus sargentii</i>)	 Vase	30' x 30'	T2, T3, T4, T5	a., b., c., d., e.	No	Allee Regular Clustered	Drupe / Pink	
	Pagoda Tree (<i>Sophora japonica</i>)	 Rounded	40' x 40'	T2, T3, T4, T5	a., b., c., d., e.	No	Allee Regular Clustered	Pod / Cream	Higher mainte- nance.
	Regent Scholar- tree (<i>Sophora japonica "regent"</i>)	 Oval	40' x 40'	T2, T3, T4, T5	a., b., c., d., e.	No	Allee Regular Clustered	Pod / Cream	Fast growth, some litter.

PUBLIC PLANTING (cont.)

107

Tree Canopy Characteristics									
	Specific Name (<i>Botanical Name</i>)	Type	Size (height x spread)	Transect District	CS	Native	Planting Pattern	Produce / Color in Bloom	Special Instructions
ORN- MEN- TAL TREES	Eastern Redbud (<i>Cercis canadensis</i>)	 Rounded	20' x 25'	All	a., b., c., d., e.	Yes	Allee Regular Clustered	Pod / Pink	Good for natu- ralized areas.
	Flowering Dog- wood (<i>Cornus florida</i>)	 Rounded	30' x 30'	All	a., b., c., d., e.	Yes	Allee Regular Clustered	Drupe / White-Yellow	
	Witchhazel (<i>Hamamelis vir- giniana</i>)	 Rounded	15' x 15'	All	a., b., c., d., e.	Yes	Regular Clustered	Capsule / Yellow	Good for natu- ralized areas.
	Mountain Laurel (<i>Kalmia latifolia</i>)	 Rounded	10' x 10'	All	a., b., c., d., e.	Yes	Regular Clustered	Capsule / White-Pink	Good for natu- ralized areas.
	Crape Myrtle (<i>Lagerstoemia indica</i>)	 Vase	20' x 20'	T3, T4, T5	b., c., d., e.	No	Regular Clustered	Capsule / Varies	
	Kousa Dogwood (<i>Cornus kousaa</i>)	 Rounded	25' x 25'	T2, T3, T4, T5	b., c., d., e.	No	Allee Regular Clustered	Drupe / White	
	Cornelian Cherry (<i>Cornus mas</i>)	 Rounded	20' x 15'	T2, T3, T4, T5	b., c., d., e.	No	Regular Clustered	Drupe / Yellow	
	Siberian Crabap- plen (<i>Malus baccata</i>)	 Spreading	25' x 25'	T3, T4	b., c., d.	No	Allee Regular Clustered	Drupe / Pink	
	Upright Siberian Crabappler (<i>Malus baccata columnaris</i>)	 Columnar	30' x 10'	T2, T3, T4	b., c., d.	No	Allee Regular Clustered	Drupe / Cream	
	Radiant Cra- bapple (<i>Malus 'radiant'</i>)	 Rounded	25' x 25'	T3, T4	b., c., d.	No	Allee Regular Clustered	Drupe / Red-Pink	
Snowdrift Cra- bapple (<i>Malus snowdrift</i>)	 Rounded	20' x 20'	T2, T3, T4	b., c., d.	No	Allee Regular Clustered	Drupe / White		

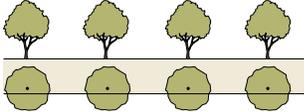
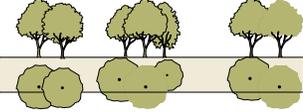
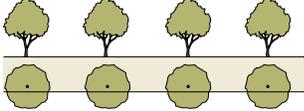
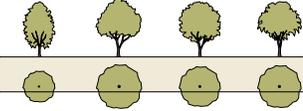
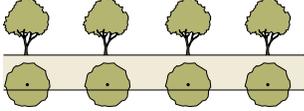
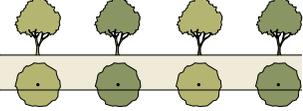
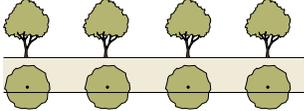
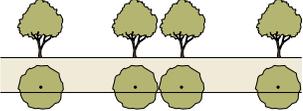
Article 7

Public Realm

108 PUBLIC PLANTING (cont.)

Tree Canopy Characteristics (cont.)									
	Specific Name (Botanical Name)	Type	Size (height x spread)	Transect District	CS	Native	Planting Pattern	Produce / Color in Bloom	Special Instructions
CONIFEROUS TREES (Not to be used as street trees.)	American Holly (<i>Ilex opaca</i>)	 Pyramidal	20' x 15'	All	a., b., c.	yes	Clustered	Drupe/White	Requires both female and male for fruit.
	Eastern Red Cedar (<i>Juniperus virginiana</i>)	 Pyramidal	35' x 10'	All	a., b., c., d., e.	yes	Clustered	Cone/NA	
	Red Pine (<i>Pinus resinosa</i>)	 Oval	50'x15'	T1, T2, T3	a., b., c., e.	yes	Clustered	Cone/NA	
	Eastern White Pine (<i>Pinus strobus</i>)	 Pyramidal	50'x20'	All	a., b., c., e.	yes	Clustered	Cone/NA	Intollerant of air pollutants & salts.
	Northern White Cedar (<i>Thuja occidentalis</i>)	 Pyramidal	25'x10'	All	a., b., c., e.	yes	Clustered	Cone/NA	
	Eastern Hemlock (<i>Tsuga canadensis</i>)	 Pyramidal	40'x25'	T1, T2, T3	a., b., c.	yes	Clustered	Cone/NA	

TABLE 33. TREE PLANTING PATTERN

	Regular	Naturalistic / Clustered
a. Arrangement Opportunistic arrangement is not illustrated.		
	Single	Varied
b. Type Mix		
	Single	Alternating
c. Species		
	Regular	Irregular
d. Spacing		

Article 7

Public Realm

110

TABLE 34. PUBLIC LIGHTING

TYPE		HEIGHT	SPACING
 COBRAHEAD	T2 ■		
	T20		
	T3		
	T4		
	T40		
	T5		
	T5L		
	SDB ■		
	SDI ■		
 DOUBLE COLUMN	T2		
	T20		
	T3		
	T4		
	T40		
	T5 ■	12 ft. - 16 ft.	50 ft. on center min.
	T5L ■	12 ft. - 16 ft.	50 ft. on center min.
	SDB		
	SDI		
 COLUMN	T2		
	T20 ■	10 ft. - 14 ft.	100 ft. on center min.
	T3		
	T4 ■	10 ft. - 14 ft.	100 ft. on center min.
	T40 ■	10 ft. - 14 ft.	100 ft. on center min.
	T5 ■	12 ft. - 16 ft.	50 ft. on center min.
	T5L ■	10 ft. - 14 ft.	100 ft. on center min.
	SDB ■	10 ft. - 16 ft.	50 ft. on center min.
	SDI ■	12 ft. - 16 ft.	50 ft. on center min.

TYPE		HEIGHT	SPACING
 POST	T2		
	T20 ■	10 ft. - 14 ft.	50 ft. on center min.
	T3 ■	10 ft. - 12 ft.	at intersections
	T4 ■	10 ft. - 14 ft.	120 ft. on center min.
	T40 ■	10 ft. - 14 ft.	50 ft. on center min.
	T5		
	T5L		
	SDB		
	SDI		
 PIPE	T2 ■	8 ft. - 10 ft.	at intersections
	T20 ■	8 ft. - 10 ft.	50 ft. on center min.
	T3 ■	8 ft. - 10 ft.	at intersections
	T4		
	T40		
	T5		
	T5L		
	SDB		
	SDI		
 BOLLARD	T2		
	T20		
	T3		
	T4 ■	3 ft. max.	6 ft. on center min.
	T40 ■	3 ft. max.	6 ft. on center min.
	T5 ■	3 ft. max.	6 ft. on center min.
	T5L		
	SDB ■	3 ft. max.	6 ft. on center min.
	SDI ■	3 ft. max.	6 ft. on center min.

■ Permitted
□ Special Exception